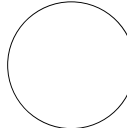


PROPOSAL FOR 2 DOUBLE STOREY TOWNHOUSES  
AT 19 MITCHELL STREET BLACKBURN NORTH VIC 3130

ISSUE	DWG NO.	TITLE
WD	A000	COVER SHEET
WD	A001	GENERAL NOTES
WD	A100	SITE PLAN
WD	A101	GROUND FLOOR PLAN
WD	A102	FIRST FLOOR PLAN
WD	A103	ROOF FLOOR PLAN
WD	A200	UNIT 1 PLAN
WD	A201	UNIT 2 PLAN
WD	A202	UNIT 1 & UNIT 2 ELECTRICAL LAYOUT
WD	A300	ELEVATIONS
WD	A301	SECTIONS
WD	A302	WALL TYPE & DETAILS
WD	A400	WINDOW & DOOR SCHEDULES

NOT FOR CONSTRUCTION

<div>Notes</div> <div><div>- DO NOT SCALE FROM DRAWINGS.</div><div>- SITE &amp; FLOOR LEVELS TO BE CONFIRMED ON SITE BY BUILDER PRIOR TO COMMENCEMENT OF ANY WORKS. ANY ERRORS, DISCREPANCIES OR OMISSIONS IN THE DRAWINGS, NOTATIONS OR DIMENSIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO WORKS COMMENCING.</div><div>- ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS, STRUCTURAL, MECHANICAL, ELECTRICAL, HYDRAULIC, LANDSCAPE ARCHITECTURAL DRAWINGS.</div><div>- LOCATION OF ALL HARDWARE, FIXTURES AND FITTINGS TO BE CONFIRMED WITH ARCHITECT PRIOR TO WORKS COMMENCING.</div></div>		Project	Date	Rev	Description		Project Number			Drawing Number	
		19 MITCHELL STREET, BLACKBURN NORTH					21-024	A000			
		Drawing						Amendment			
		COVER SHEET						-			

GENERAL NOTES

DO NOT SCALE DRAWINGS.

ALL WORKMANSHIP TO BUILDING SURVEYORS SATISFACTION & TO COMPLY WITH CURRENT AUSTRALIAN STANDARDS AND THE BUILDING CODE OF AUSTRALIA.

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ATTCHED STRUCTURAL & CIVIL ENGINEERS COMPUTATIONS & DRAWINGS.

THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS, CONDITIONS & LEVELS ON SITE BEFORE COMMENCING WORK.

STORMWATER DRAINAGE AS PER CITY ENGINEERS DIRECTIVE.

CONTRACTORS ARE TO TAKE PARTICULAR CARE NOT TO UNDERMINE FOOTINGS OF ANY EXISTING WALLS.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE & CONFIRMED AGAINST TITLE DIMENSIONS.

ALL GLAZING TO COMPLY WITH AS 1288, INSTALLATION OF GLASS IN BUILDINGS.

ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT AUSTRALIAN BUILDING CODE AND ALL RELEVANT AUSTRALIAN STANDARDS, AND LOCAL AUTHORITY BY-LAW.

USE OF/OR CHANGE OF ANY MATERIAL OTHER THAN THAT IS SPECIFIED IS TO BE APPROVED IN WRITING BY THE ARCHITECT.

BUILDER NOT TO ENCRDACH NEIGHBORING BOUNDARIES NOR UNDERMINE EXISTING NEIGHBORING BUILDING. BUILDER TO ENSURE THAT ALL NECESSARY PRECAUTIONS & PROTECTION OF THE PUBLIC IS COMPLETED BEFORE COMMENCEMENT OF ANY WORKS.

IF BUILDER IN DOUBT CONSULT APPROPRIATE AUTHORITIES.

BUILDER TO CONTAIN ALL WORKS WITHIN ENCLOSURE. THE SITE SHALL BE SECURED AT ALL TIMES AGAINST THE UNAUTHORIZED ENTRY OF PERSONS OR VEHICLES. PROVISION SHALL BE MADE FOR READY ACCESS TO THE SITE BY EMERGENCY SERVICES PERSONNEL. IN THE EVENT OF FIRE OR ACCIDENT, BUILDER TO PREPARE ALL PROTECTION TO EXISTING CONCRETE PAVING, INCLUDING GROUND SPREADING TIMBER PROTECTION. ANY NEW CRACKING TO PAVING SLABS WILL BE COMPLETELY REMOVED AND REPLACED BY BUILDER AT OWN EXPENSE.

BCA AND STANDARDS - GENERAL

ALL WORKS SHALL COMPLY WITH THE BCA/NCC 2019 AD NOT BE LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS:

AS 1288

GLASS IN BUILDINGS SELECTION AND INSTALLATIONS

AS 1562

DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING. PART 1 METAL.

AS 1564.2

NATIONAL TIMBER FRAMING CODE

AS 1860

INSTALLATION OF PARTICLE BOARD FLOORING

AS 2047

WINDOWS IN BUILDING SELECTIONS AND INSTALLATIONS.

AS 2049

ROOF TILES

AS 2050

INSTALLATION OF ROOFING TILES

AS 2870

RESIDENTIAL SLABS AND FOOTINGS CONSTRUCTION

AS 2904

DAMP PROOF COURSES AND FLASHINGS

AS 3600

CONCRETE STRUCTURES

AS 2660.1

PROTECTION OF BUILDINGS AGAINST SUBTERRANEAN TERMITES PART 1 NEW BUILDINGS

AS 3700 OR AS 4773.1 AND AS 4773.2

MASONARY STRUCTURES

AS 3740 AND BCA PART 3.8.1, AS/NZS 4654.1, AS/NZS 4654.2

WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS

AS 3786

SMOKE ALARMS

AS 4100

STEEL STRUCTURES

AS 4256

PLASTIC ROOF AND WALL CLADDING MATERIALS

AS 4055

WIND LOADS FOR HOUSING

AS 4654

2012 WATERPROOFING MEMBRANE SYSTEMS FOR ABOVE-GROUND USE. PART 1 - MATERIALS PART 2: INSTALLATION

AS 4858

2004 WET AREA MEMBRANES

DEMOLITION

THE CONTRACTOR SHALL GIVE TWO (2) CLEAR WORKING DAYS NOTICE TO THE SUPERINTENDENT'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF THE WORKS.

GENERALLY REMOVE ALL BUILDINGS & OUT BUILDINGS AS INDICATED INCLUDING ALL SUB-SURFACE REDUNDENT MATERIALS & LEAVE SITE IN A CLEAN & LEVEL CONDITION.

ASBESTOS REMOVAL

TO ASBESTOS DISPOSAL REGULATIONS.

REMOVAL OF ASBESTOS MATERIALS CONTAINING ASBESTOS FIBRE SHALL BE IN ACCORDANCE WITH THE NOHSC (WIKSAFE VICTORIA), CODE OF PRACTICE FOR THE SAFE REMOVAL OF ASBESTOS.

STABILITY OF THE STRUCTURE

THE STRUCTURE TO BE DEMOLISHED AND ALL ITS COMPONENTS SHALL BE MAINTAINED IN A STABLE AND SAFE CONDITION AT ALL STAGES OF THE DEMOLITION WORK. TEMPORARY BRACING, GUYS, SHORING, OR ANY COMBINATION OF THESE, SHALL BE ADDED FOR STABILITY WHEN NECESSARY.

CONTROLS NEED TO BE IMPLEMENTED TO EFFECT THE REMOVAL OF THE MASONRY WALL WITHOUT AFFECTING THE STABILITY OF THE REMAINING WALL RETURNS.

LOADING AGAINST WALLS

WALLS SHALL NOT BE Laterally Loaded By Accumulated Rubble Or Debris, To The Extent That They Are In Danger Of Collapse.

DISCONNECTION OF SERVICES

A) THE DEMOLISHER SHALL ARRANGE TO PROPERLY DISCONNECT ALL SERVICES TO RELEVANT LOCAL AUTHORITY STANDARDS.

B) STORM WATER SHALL BE TERMINATED AT PIT SERVICING THE BLOCK. EXISTING PAVING WHICH REQUIRES NEW SERVICES INSTALLED TO BE SAW CUT & EXCAVATED TO REQUIRED LEVELS. ON COMPLETION BACKFILL & MAKE GOOD AS REQUIRED.

PROTECTION & DIVERSION

TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE PUBLIC & ARRANGE ANY PEDESTRIAN DIVERSIONS AS MAY BE REQUIRED BY COUNCIL. II. ERECT ANY BARRIERS DEEMED NECESSARY BY COUNCIL.

EXISTING BOUNDARY FENCING AND SHRUBS TO BE REMOVED TO ALLOW FOR NEW FENCE.

SITE PREPARATION

ANY FILLING UNDER PAVING SLABS TO BE FCR, GRADE 2A MATERIAL OF 50mm. (MAX.) SIZE COMPACTED IN 200mm. THICK ( MAX) LAYERS TO GIVE 100% STANDARD COMPACTION. GRADE UNIFORMLY BETWEEN GIVEN LEVELS. ALL CROSSINGS TO LOCAL COUNCIL REQUIREMENTS. REFER RELEVANT DETAILS FROM COUNCIL.

ALL FRC, RCP, EW & SEWER QUALITY PVC PIPES UNDER TRAFFICABLE PAVING TO HAVE 450mm. MIN. COVER. STORMWATER QUALITY PVC PIPES TO HAVE 600mm. MIN COVER. ALL PIPES IN GARDEN AREAS TO HAVE 300mm. COVER. PIPES TO BE 150 mm. PVC. FROM LEGAL POINT OF DISCHARGE TO THE BUILDING EDGE. ALL PIPES UNDER PAVING & BUILDING TO BE 100mm. UPVC.

IN ALL OTHER INSTANCES USE 100 mm PVC (90mm Ø PIPE WOULD ALSO BE SUFFICIENT).

O DP DOWN PIPE

PROTECTION OF OPENINGS

OPENINGS IN EXISTING WALLS AND FLOORS, THROUGH WHICH THERE IS A RISK OF PERSONS FALLING TO A LOWER LEVEL, SHALL BE EITHER PROPERLY GUARDED OR BOARDED OVER AND THE BOARDING SECURED AGAINST UNAUTHORIZED OR ACCIDENTAL REMOVAL.

GLASS

PRECAUTIONS SHALL BE TAKEN TO PREVENT GLASS FROM FALLING ONTO PERSONS IN OR OUTSIDE THE BUILDING.

PROTECTION & DIVERSION

I) TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE PUBLIC & ARRANGE ANY PEDESTRIAN DIVERSIONS AS MAY BE REQUIRED BY COUNCIL.

II) ERECT ANY BARRIERS DEEMED NECESSARY BY COUNCIL.

SERVICES

THE CONTRACTOR IS RESPONSIBLE FOR THE DISCONNECTION OF ALL SERVICES TO THE PROPERTY. BUILDER TO VERIFY ALL SERVICES INCLUDING GAS LINES, WATER, SEWER, ELECTRICITY & ALL METRES & CONNECTIONS BEFORE COMMENCEMENT OF ANY WORKS. MAKE GOOD ALL EXISTING SERVICES AS REQUIRED ON COMPLETION.

REMOVAL OF DEMOLISHED MATERIALS

DEMOLISHED MATERIAL SHALL BE REMOVED PROGRESSIVELY FROM THE SITE AND, AT ANY TIME, SHALL NOT BE ALLOWED TO ACCUMULATE TO THE EXTENT THAT IT PRESENTS A HAZARD TO THE PUBLIC OR TO SITE PERSONNEL.

NOTICES AND PERMITS

THE CONTRACTOR SHALL COMPLY WITH ALL SUCH ORDINATES, REGULATIONS AND BY LAWS IN RELATION TO THE WORKS, AND SHALL GIVE ALL NOTICES AND OBTAIN ALL PERMITS AND PAY ALL FEES ASSOCIATED THERE-WITH PRIOR TO THE COMMENCEMENT OF THE WORKS.

CONCRETE FOOTINGS

ALL CONCRETE FOOTINGS SHALL BE PLACED ON A FOUNDATION HAVING THE REQUIRED ALLOWABLE BEARING PRESSURE, AND BE PREPARED, REINFORCED AND CONSTRUCTED STRICTLY IN ACCORDANCE WITH THE MANDATORY REQUIREMENTS OF THE BUILDING REGULATIONS.

REQUIREMENTS OF THE RESIDENTIAL SLABS AND FOOTINGS CODE AS2870.1 MAY BE USED UNLESS OTHERWISE DESIGNED BY ENGINEER.

TIMBER FRAMING

NOTE: TIMBER WALL & FLOOR CONSTRUCTION/FRAMING SHALL COMPLY WITH AS1684.2-2010

90 x 45 MGP10 STUDS AT 450 CTRS. FOR ALL WALL HEIGHTS UP TO 2700 MM HIGH

90 x 45 MGP10 STUDS AT 450 CTRS FOR ALL WALL HEIGHTS UP TO 3000 MM HIGH

2/90 x 35 MGP10 STUDS AT 450 CTRS FOR ALL WALL HEIGHTS UP TO 3500 MM HIGH

2/90 x 45 MGP10 STUDS AT 450 CTRS FOR ALL WALL HEIGHTS UP TO 3800 MM HIGH

120 x 45 MGP10 STUDS AT 450 CTRS FOR ALL WALL HEIGHTS UP TO 3900 MM HIGH

FOR LARGE SPAN FLOOR JOISTS & CEILING JOISTS REFER TO STRUCTURAL DRAWINGS.

GLAZING

ALL GLAZING TO COMPLY WITH AS 1288-2006, INSTALLATION OF GLASS IN BUILDINGS & AS 2047, 2014 WINDOWS IN BUILDING - SELECTION & INSTALLATION. SHOWER SCREENS AND WINDOWS WITHIN 2000mm. OF SHOWER OR BATH PERIMETERS TO BE GLAZED WITH GRADE A SAFETY GLASS. GLAZING IN DOORS SHALL BE GRADE 'A' SAFETY GLASS.

STAIR

STAIR RISERS MAX 190, MIN 115  
STAIR TREADS MAX 395, MIN 240

BALUSTRADES TO HAVE MINIMUM HEIGHT OF 865MM ABOVE NOSING OF TREADS AND 1000MM ABOVE LANDINGS AND FLOORS. ALL RAILS AND BALUSTRADES TO HAVE A MAXIMUM 125MM CLEARANCE FROM LANDINGS AND OR LINE CONNECTING TREAD NOSINGS.

HANDRAIL TO BE PROVIDED ALONG ONE SIDE OF STAIRS, FIXED AT A HEIGHT OF 865MM ABOVE NOSINGS.

STRINGERS TO BE 245 X 45 F17 MIN.

SPACING BETWEEN ALL BALUSTRADES MUST NOT PERMIT A SPHERE OF 125 MM TO PASS THROUGH IT.

HANDRAIL TO BE 1000MM HIGH.

NOTE:NO GAPS GREATER THAN 125MM. REFER TO BALUSTRADE NOTE.

ALL STAIR CONSTRUCTION TO BE KDHW STRINGER, BULL NOSE TREADS & RISERS OR ALTERNATIVE PREFABRICATED STAIRLOK TYPE WITH 2 COAT POLYURETHANE FINISH WITH SINGLE STRIP NON SLIP TAPE PER TREAD OR ALTERNATIVE BULL NOSE TREADS & RISERS WITH CARPET FINISH TO MATCH CARPET SPECIFICATION.

SLIP RESISTANCE TO STAIR TREAD TO BE P3 CUR R10 WHEN TESTED IN ACCORDANCE WITH AS4586

TIMBER FLOORING

FLOORING STRUCTURE TO COMPLY WITH AS1684 & AS1170.

PLUMBER AND DRAINER

SANITARY PLUMBER (ALL AREAS)

PROVIDE WASH TUBS, PEDESTAL PAN, KITCHEN SINK, WASH BASIN, BATH AND FLOOR GRATE TO SHOWER AREAS ( AS PER PLAN). PROVIDE WASTE TRAPS AND CONNECT TO DRAINAGE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWERAGE AUTHORITY CONCERNED.

WATER SERVICE

WHERE A RETICULATED WATER SUPPLY IS AVAILABLE ALL WORK SHALL BE CARRIED OUT BY A LICENSED WATER PLUMBER. ALL WATER SUPPLY INSTALLATIONS SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 3500: NATIONAL PLUMBING AND DRAINAGE CODE.

TERMITE PROTECTION

THE PROPERTY IS SUBJECT TO TERMITE INFESTATION AND IS TO BE PROTECTED IN ACCORDANCE WITH AS 3660.1.

SUB FLOOR AREA OF ALL TIMBER DECK AREAS ARE TO ACHIEVE A MINIMUM SUB FLOOR CLEARANCE OF 400mm ABOVE NATURAL GROUND LEVEL WITH ANT CAPS INSTALLED TO EACH STUMP.

SLAB PENETRATIONS TO HAVE TERMITE COLLARS INSTALLED.

PERIMETER PROTECTION TO THE ENTIRE BUILDING INCLUDING GARAGES TO BE INSTALLED IN ACCORDANCE WITH AS 3660.1.

WET AREAS

ALL WET AREA AREAS ARE TO COMPLY WITH BCA F1.7 OR AS 3740 - 2010. WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT OF 1800mm ABOVE FLOOR LEVEL TO ANY SHOWER ENCLOSURES AND 150mm ABOVE BATHS, BASINS, SINKS & TROUGHS IF WITHIN 75mm OF WALLS.

O DP DOWN PIPE

WITHIN THE LEGAL BOUNDARY LINE. ALL DOWNPIPES TO BE CONFIRMED ON SITE & IN ACCORDANCE WITH SHIRES DIRECTIVE. ALL SEWER DRAINAGE REQUIRES CONNECTION TO A RETICULATED SEWERAGE SYSTEM. PACKAGE TREATMENT PLANT OR AN APPROVED SEPTIC SYSTEM, WORKS TO BE IN ACCORDANCE WITH LOCAL AUTHORITY REGULATIONS.

LEVELS

FLOOR LEVELS & ALL LEVELS TO AHD SEE SURVEYORS CADESTRAL DRAWINGS COORDINATE THE POSITIONS OF ALL TRENCHES FOR SERVICES & IN GROUND WORK WITH PLAN OF TREES TO BE RETAINED.

REFER TO ENGINEERS DRAWINGS FOR DEPTHS OF ALL STORMWATER PITS HEIGHT & POSITION OF SEWER ORG TO BE BELOW LOWEST FLOOR WASTE TO LOCAL SEWERAGE AUTHORITY REGULATION ROOT BARRIERS REQUIRED TO TREE DRIPLINE ABUTING BUILDINGS.

ROOFING SPECIFICATION

ROOF CLADDING TO BE INSTALLED TO COMPLY WITH BCA 3.5.1 AND THE FOLLOWING STANDARDS.

AS 1562.1 DESIGN AND INSTALLATION OF METAL SHEET ROOFING.

GUTTERING TO BE INSTALLED IN ACCORDANCE WITH BCA 3.5.2.3 TO FALL NOT LESS THAN 1:500 FOR EAVES GUTTERS UNLESS FIXED TO METAL FASCIAS FALL OF NOT LESS THAN 1:100 FOR BOX GUTTERS.

DOWNPICES TO BE SIZED TO COMPLY WITH BCA TABLE 3.5.2.1 AND TABLES 3.5.2.2A, B & C.

SELECTION OF MATERIALS FOR SHEET ROOFING, GUTTERING AND DOWNPIPES TO COMPLY WITH TABLES 3.5.1.1 & 2 TO PREVENT CORROSION FROM CONTACT OF DIFFERENT METALS.

ALL ROOFING MATERIALS AND RAINWATER GOODS TO BE INSTALLED IN ACCORDANCE WITH THE PRINTED INSTRUCTIONS.

NEW SKILLION FLAT ROOFS TO BE 0.60mm LYSAGHT KLIP-LOK HI-TEN COLORBOND ROOFING AT 2° PITCH. TO BE INSTALLED AS PER MANUF'S RECOMMENDATIONS. REFER TO STRUCT'L ENGRS DRWGS FOR DETAIL AND CONSTRUCTION OF ROOF FRAME.

NEW HIP ROOFS, RIDGE CAPPING AND HIP CAPPING TO BE TERRACATTA OR ALTERNATIVE CONCRETE WITH PAINT FINISH TO MATCH EXISTING.

NEW FASCIA & GUTTER SYSTEM TO BE COLORBOND NOVALINE FASCIA & GUTTER SYSTEM WITH COLORBOND HI FRONT QUAD GUTTER. TO BE INSTALLED AS PER MANUF'S RECOMMENDATIONS.

UNDERSIDE EAVES OVERHANG LINING LOCATED WITHIN 900mm FROM TITLE BOUNDARY TO BE CONSTRUCTED USING 6mm COMPRESSED CEMENT SHEET OR ALTERNATIVE NON COMBUSTABLE MATERIAL.

SUPPLY AND INSTALL SAFETY MESH UNDER ALL ROOFING.

ALL MECHANICAL AND OTHER SERVICE PENETRATIONS TO BE FULLY FLASHED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

ALL ROOFING STRUCTURE INCLUDING SIZES & SUPPORT MEMBERS REFER TO STRUCTURAL ENGINEERS DRAWINGS & COMPUTATIONS.

COLORBOND SOAKER FLASHING WITH COMPRESSED SHEET LINING TO WALL FLASHING TO TUCK UNDER SHEET LINING FLASH & SEAL MAKE WATERTIGHT & VERMINPROOF MAKE GOOD ON COMPLETION.

COLORBOND VALLEY FLASHING AND BARGE FLASHING AS REQUIRED AS PER MANUFACTURERS INSTALLATION AND DETAILS. MAKE GOOD, WATERPROOF AND VERMINE PROOF AS REQUIRED.

ALL COLOURBOND CAPPING FLASHING TO ENCAPSULATE BUILDING PROJECTION SUPPORTED ON WATERPROOF PLY AND TIMBER FRAMING WITH APPROVED INSULATION MAKE WATER PROOF & VERMIN PROOF AS REQUIRED.

ALL FLASHINGS AND CAPPINGS SHALL BE 1.0mm COLOURBOND FIXED WITH ZINCALUME COATED STEEL SCREWS & NEOPRENE WASHERS INTO APPROVED MASONRY PLUGS. SILICON SEAL EACH FIXING POINT. HOLES IN CAPPING TO BE SLIGHTLY OVERSIZED TO ALLOW FOR EXPANSION.

ALL EXTERNAL DOWNPIPES TO BE 100mm COLORBOND DOWNPIPES TO BE FIXED TO 2mm THICK COLORBOND STEEL DOWN PIPE STAND OFF BRACKET FIXED TO EXTERNAL WALL WITH 2No COATCH BOLTS. TO BE INSTALLED TO COUNCIL REGULATIONS & DISCHARGE INTO STORMWATER PIT.

EXHAUST FANS, RIDGE VENTS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURES RECOMMENDATIONS.

PROVIDE MASTIC SEAL AROUND DOWNPIPE PENETRATIONS AND PROVIDE STAINLESS STEEL WIRE LEAF GUARDS TO ALL DOWNPIPES.

NOTE:ALL RAIN WATER HEAD & SUMP/DP LOCATED TO HAVE NEW OVERFLOW POP INSTALLED TO AVOID OVERFOW OF STORMWATER.

SITE PREPARATION

ANY FILLING UNDER PAVING SLABS TO BE FCR, GRADE 2A MATERIAL OF 50mm. (MAX.) SIZE COMPACTED IN 200mm. THICK ( MAX) LAYERS TO GIVE 100% STANDARD COMPACTION. GRADE UNIFORMLY BETWEEN GIVEN LEVELS. ALL CROSSINGS TO LOCAL COUNCIL REQUIREMENTS. REFER RELEVANT DETAILS FROM COUNCIL.

ALL FRC, RCP, EW & SEWER QUALITY PVC PIPES UNDER TRAFFICABLE PAVING TO HAVE 450mm. MIN. COVER. STORMWATER QUALITY PVC PIPES TO HAVE 600mm. MIN COVER. ALL PIPES IN GARDEN AREAS TO HAVE 300mm. COVER. ALL PIPES TO BE 150 mm. PVC. ALL PIPES UNDER PAVING TO BE 100mm. UPVC.

STORMWATER DRAIN SHALL BE 150mm. DIA. UPVC, 1:100 GRADIENT CONNECTED TO LEGAL POINT OF DISCHARGE AS NOMINATED BY COUNCIL AUTHORITIES. PROVIDE INSPECTION OPENINGS @ 9000mm c/c.

Notes

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- ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS, STRUCTURAL, MECHANICAL, ELECTRICAL, HYDRAULIC, LANDSCAPE ARCHITECTURAL DRAWINGS.  
- LOCATION OF ALL HARDWARE, FIXTURES AND FITTINGS TO BE CONFIRMED WITH ARCHITECT PRIOR TO WORKS COMMENCING.

Project

19 MITCHELL STREET, BLACKBURN NORTH

Drawing

GENERAL NOTES

Date

Rev

Description

Project Number

21-024

Date

16-06-2022

Scale

Drawn

PY /MC

Checked

AL /JW

Drawing Number

A001

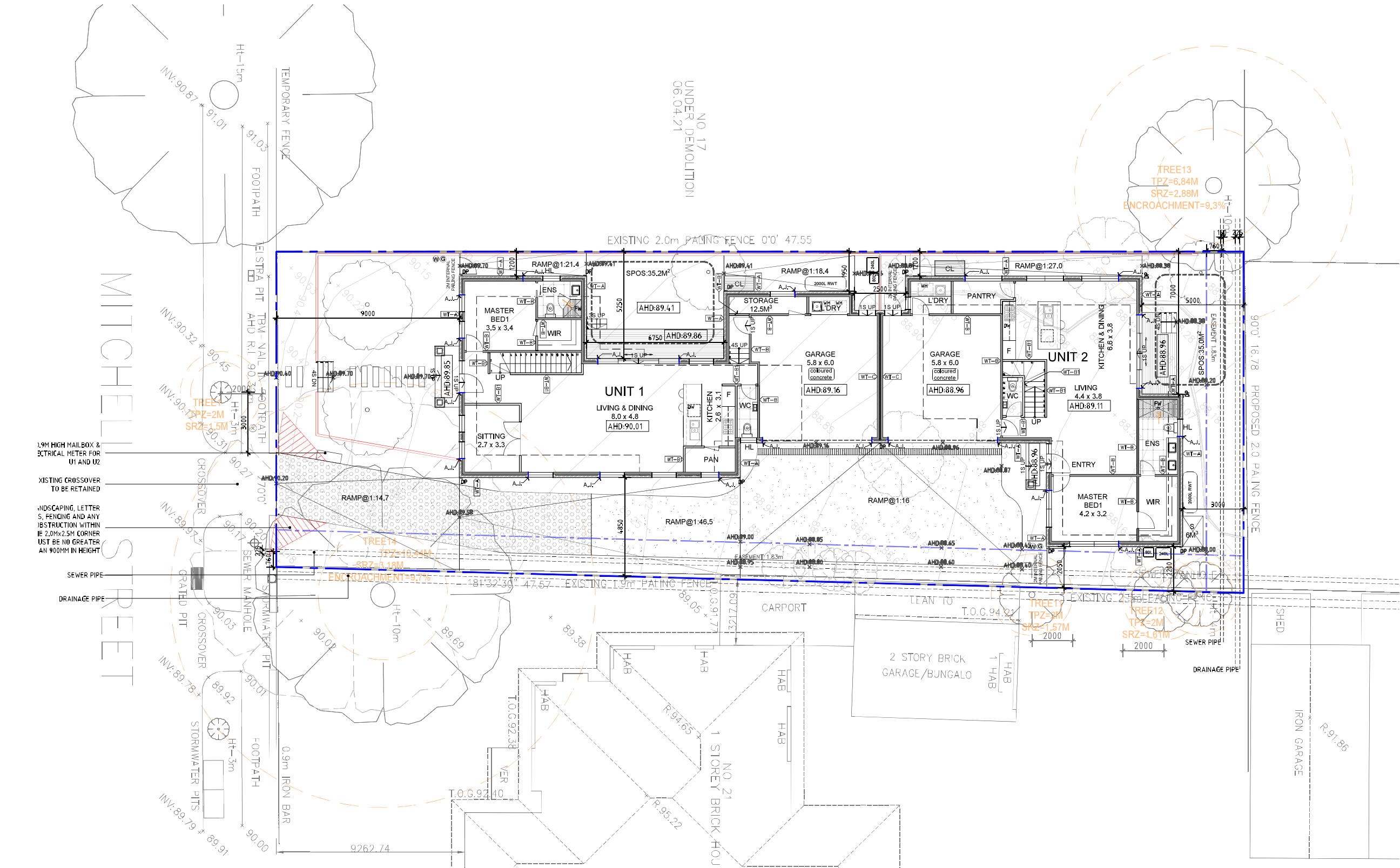
Amendment

-

NOT FOR CONSTRUCTION

Trees 1, 11, 12, 13 and 14 are to be retained and protected in accordance with the endorsed Tree Management Plan required by Condition 5 of this permit

— TREE PROTECTION FENCING



Development Summary:

Total Site Area:	767.5m <sup>2</sup>
Total Site Coverage:	323.3m <sup>2</sup> (42.1%)
Total Permeable Area:	342.3m <sup>2</sup> (44.6%)
Total Garden Area:	298.4m <sup>2</sup> (38.9%)
Total Driveway Area:	146.6m <sup>2</sup>

UNIT 1	
Site Area:	325.5m <sup>2</sup>
Ground Floor Area:	158.5m <sup>2</sup>
First Floor Area:	93.4m <sup>2</sup>
Total Floor Area:	251.9m <sup>2</sup>
SPOS > 5m:	35.5m <sup>2</sup>
Total POS:	123.6m <sup>2</sup>
No. of Bed:	4
No. of Car Space:	2
Storage:	12.5m <sup>3</sup>

UNIT 2	
Site Area:	249.5m <sup>2</sup>
Ground Floor Area:	142.4m <sup>2</sup>
First Floor Area:	91.8m <sup>2</sup>
Total Floor Area:	234.2m <sup>2</sup>
SPOS > 5m:	35.0m <sup>2</sup>
Total POS:	95.7m <sup>2</sup>
No. of Bed:	4
No. of Car Space:	2
Storage:	6.0m <sup>3</sup>

**SITE PLAN**  
SCALE 1:100 @ A1

**NOT FOR CONSTRUCTION**

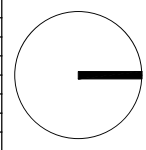
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- ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS, STRUCTURAL, MECHANICAL, ELECTRICAL, HYDRAULIC, LANDSCAPE ARCHITECTURAL DRAWINGS.
- LOCATION OF ALL HARDWARE, FIXTURES AND FITTINGS TO BE CONFIRMED WITH ARCHITECT PRIOR TO WORKS COMMENCING.

**Project**  
19 MITCHELL STREET, BLACKBURN NORTH

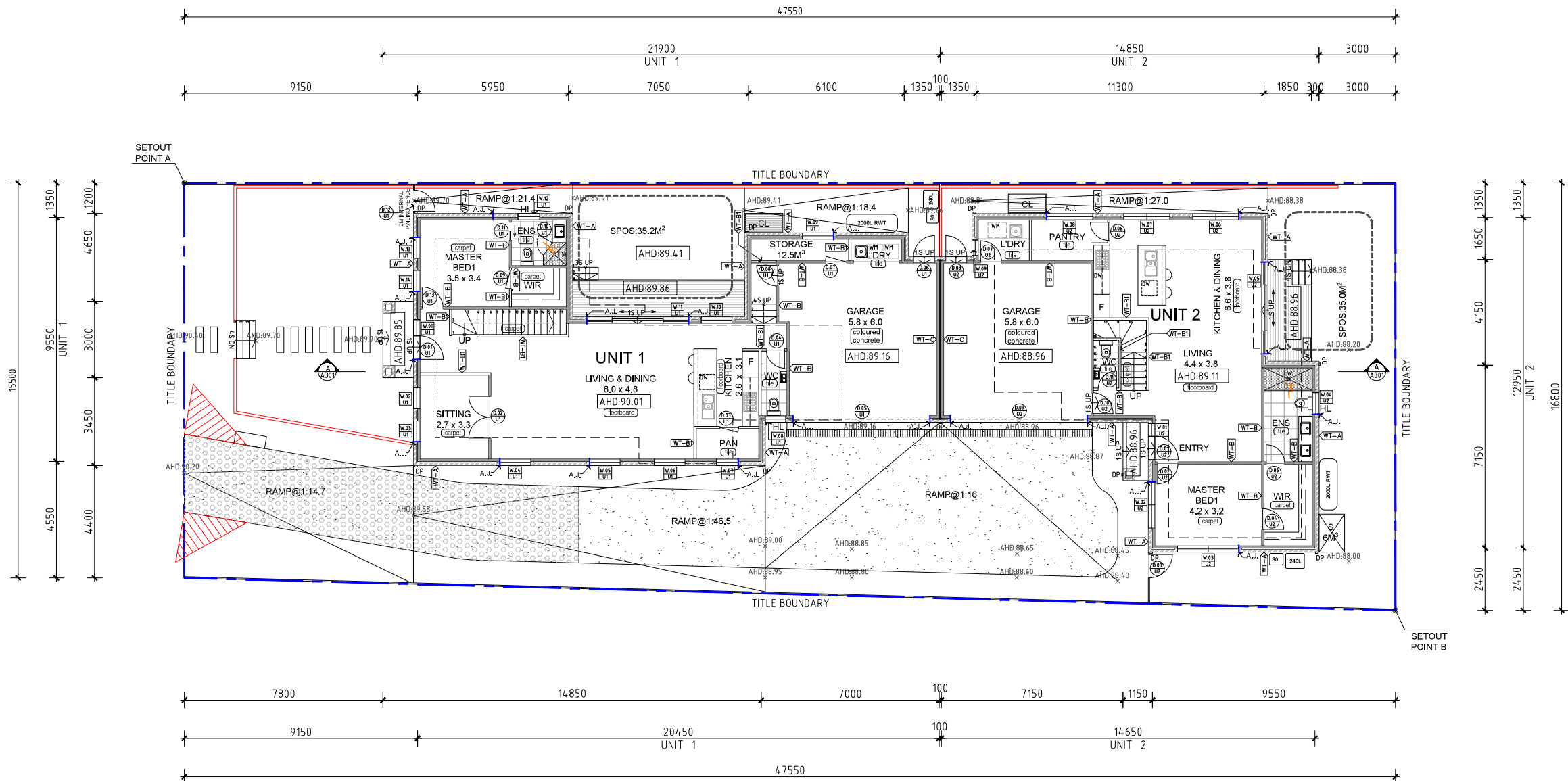
**Drawing**  
SITE PLAN

Date	Rev	Description



Project Number 21-024		Drawing Number A100	
Date 16-06-2022	Scale 1:100	Amendment -	
Drawn PY /MC	Checked AL /JW		





## GROUND FLOOR PLAN

SCALE 1:100 @ A1

### LEGEND:

- A.J. Articulation Joint
- Water Meter (TBC on site)
- Gas Meter (TBC on site)
- Sump with overflow provisions in accordance with AS3500
- Floor waste
- Downpipe Spreader - to all DPs that fall over roof
- 3000L Watertank on concrete slab
- Electrical Box (Location TBC on site)
- Shower set down
- Storage shed on conc slab

### NOTES:

- Refer to A100 general notes and energy report for all energy requirements to walls, ceilings, windows and lights.
- All ESD methods refer to SDA reports.
- Floor wastes to be provided to the bathrooms and laundries in each unit.
- Articulation joints need to be 5m along the perimeter brickwork, 4.5m from all corners and not more than 1.2m away from openings.
- All box gutters must discharge straight into a rain water head with no 90 degree rain head otherwise re-design with an internal sump, and box gutter over flow prevention in accordance with AS3500.3.
- The sizes of downpipes minim 100mmx50mm or 90mm diameter
- All roof to be provided with roof sarking.
- All balconies are to comply and be waterproofed and drained in accordance with AS4654 Parts 1 and 2.
- All WC, sanitary compartments, ensuites or bathroom doors which swing inwards and are within 1200mm of a toilet pan required lift off door hinges and the top of door trimmed 10mm to allow it to be removable.
- All first floor and second floor habitable room situated less than 1700mm above the FFL must be restricted to open a maximum 125mm.
- All box gutter size has a minimum size of 300mm wide x 100mm deep.

- Smoke alarms are required to be installed in accordance with AS3786, hard wired with battery back up and interconnected together in each dwelling, i.e. if one smoke alarm turns on, on any level each other level smoke alarm turns on also.
- All stairs to have a non-slip resistant finish with a rating of P3 minimum.
- Glass splashbacks behind gas cooktops must be in accordance with the plumbing and gas standards (minimum 6mm toughened glass)
- All shower to have impervious wall lining up to 1800mm, i.e. tiles or vinyl.
- Wet area sinks to have impermeable splashback to minimum 150mm high, i.e. tiles or vinyl.
- Termite protection required to all buildings in accordance with AS3660.1.
- All masonry must be installed to AS4773 and AS3700.
- Solar hot water units must have 60% solar heat gain.
- Any penetrations in this fire rated construction must be protected, i.e. fire collars to any service pipes, wire penetrations sealed with a fire rated mastic sealant and no down light etc.
- Crushed rock and agi-pipe for the on boundary walls and retaining walls cannot be installed over the title allotment boundary.

- Ag pipe serving all retaining walls. Agi pipe to be connected to silt pit then disperse water to stormwater system.
- Ensure external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than 50mm over the first 1m from the building.
- All showers to have 50mm set down.
- Nominate pliable building membrane to comply with AS4200.1 and to be installed to AS4200.2 in accordance with clause 3.8.7.2 of the NCC 2019
- Nominate roof stormwater drainage to comply with AS3500.3.
- Nominate rainwater tanks to be connected to sanitary flushing.
- Nominate Grade A Safety Glazing to Bathroom windows.
- Nominate the sarking requirements as per Clause 3.5.2.4 of NCC 2019; additionally, nominate table
- 3.5.2.2 and the flammability index of not more than 5 for the sarking material.

NOT FOR CONSTRUCTION

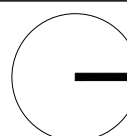
### Notes

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Project  
19 MITCHELL STREET, BLACKBURN NORTH

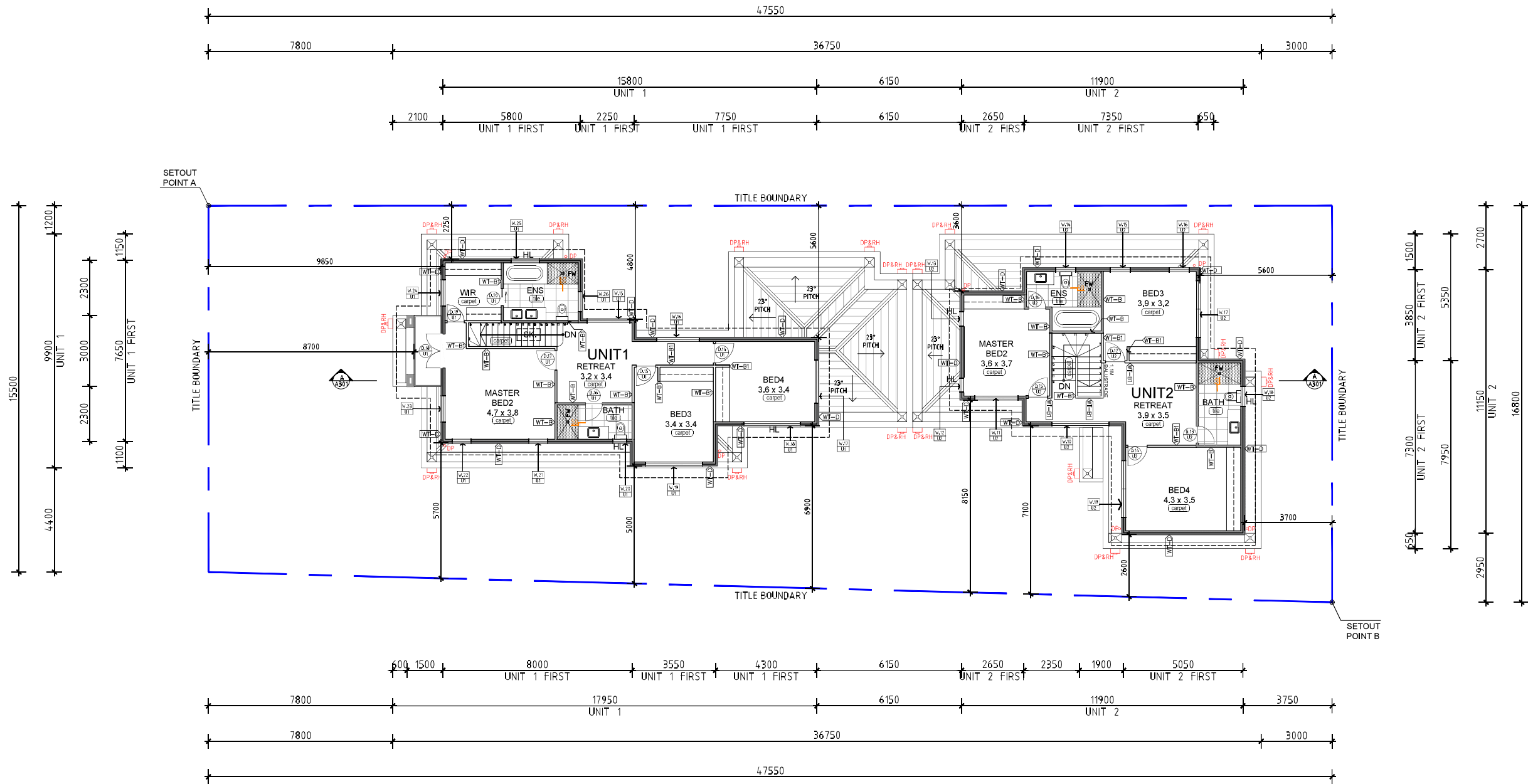
Drawing  
GROUND FLOOR PLAN

Date	Rev	Description



Project Number 21-024		Drawing Number A101	
Date 16-06-2022	Scale 1:100	Amendment -	
Drawn PY /MC	Checked AL /JW		





## FIRST FLOOR PLAN

SCALE 1:100 @ A1

### LEGEND:

- A.J. Articulation Joint
- Water Meter (TBC on site)
- Gas Meter (TBC on site)
- Sump with overflow provisions in accordance with AS3500
- FW Floor waste
- Downpipe Spreader - to all DPs that fall over roof
- 3000L Watertank on concrete slab
- Electrical Box (Location TBC on site)
- Shower set down
- Storage shed on conc slab

### NOTES:

- Refer to A100 general notes and energy report for all energy requirements to walls, ceilings, windows and lights.
- All ESD methods refer to SDA reports.
- Floor wastes to be provided to the bathrooms and laundries in each unit.
- Articulation joints need to be 5m along the perimeter brickwork, 4.5m from all corners and not more than 1.2m away from openings.
- All box gutters must discharge straight into a rain water head with no 90 degree rain head otherwise re-design with an internal sump, and box gutter over flow prevention in accordance with AS3500.3.
- The sizes of downpipes minim 100mmx50mm or 90mm diameter
- All roof to be provided with roof sarking.
- All balconies are to comply and be waterproofed and drained in accordance with AS4654 Parts 1 and 2.
- All WC, sanitary compartments, ensuites or bathroom doors which swing inwards and are within 1200mm of a toilet pan required lift off door hinges and the top of door trimmed 10mm to allow it to be removable.
- All first floor and second floor habitable room situated less than 1700mm above the FFL must be restricted to open a maximum 125mm.
- All box gutter size has a minimum size of 300mm wide x 100mm deep.

- Smoke alarms are required to be installed in accordance with AS3786, hard wired with battery back up and interconnected together in each dwelling, i.e. if one smoke alarm turns on, on any level each other level smoke alarm turns on also.
- All stairs to have a non-slip resistant finish with a rating of P3 minimum.
- Glass splashbacks behind gas cooktops must be in accordance with the plumbing and gas standards (minimum 6mm toughened glass)
- All shower to have impervious wall lining up to 1800mm, i.e. tiles or vinyl.
- Wet area sinks to have impermeable splashback to minimum 150mm high, i.e. tiles or vinyl.
- Termite protection required to all buildings in accordance with AS3660.1.
- All masonry must be installed to AS4773 and AS3700.
- Solar hot water units must have 60% solar heat gain.
- Any penetrations in this fire rated construction must be protected, i.e. fire collars to any service pipes, wire penetrations sealed with a fire rated mastic sealant and no down light etc.
- Crushed rock and agi-pipe for the on boundary walls and retaining walls cannot be installed over the title allotment boundary.

- Agi pipe serving all retaining walls. Agi pipe to be connected to silt pit then disperse water to stormwater system.
- Ensure external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than 50mm over the first 1m from the building.
- All showers to have 50mm set down.
- Nominate pliable building membrane to comply with AS4200.1 and to be installed to AS4200.2 in accordance with clause 3.8.7.2 of the NCC 2019
- Nominate roof stormwater drainage to comply with AS3500.3.
- Nominate rainwater tanks to be connected to sanitary flushing.
- Nominate Grade A Safety Glazing to Bathroom windows.
- Nominate the sarking requirements as per Clause 3.5.2.4 of NCC 2019; additionally, nominate table
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NOT FOR CONSTRUCTION

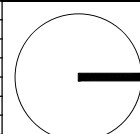
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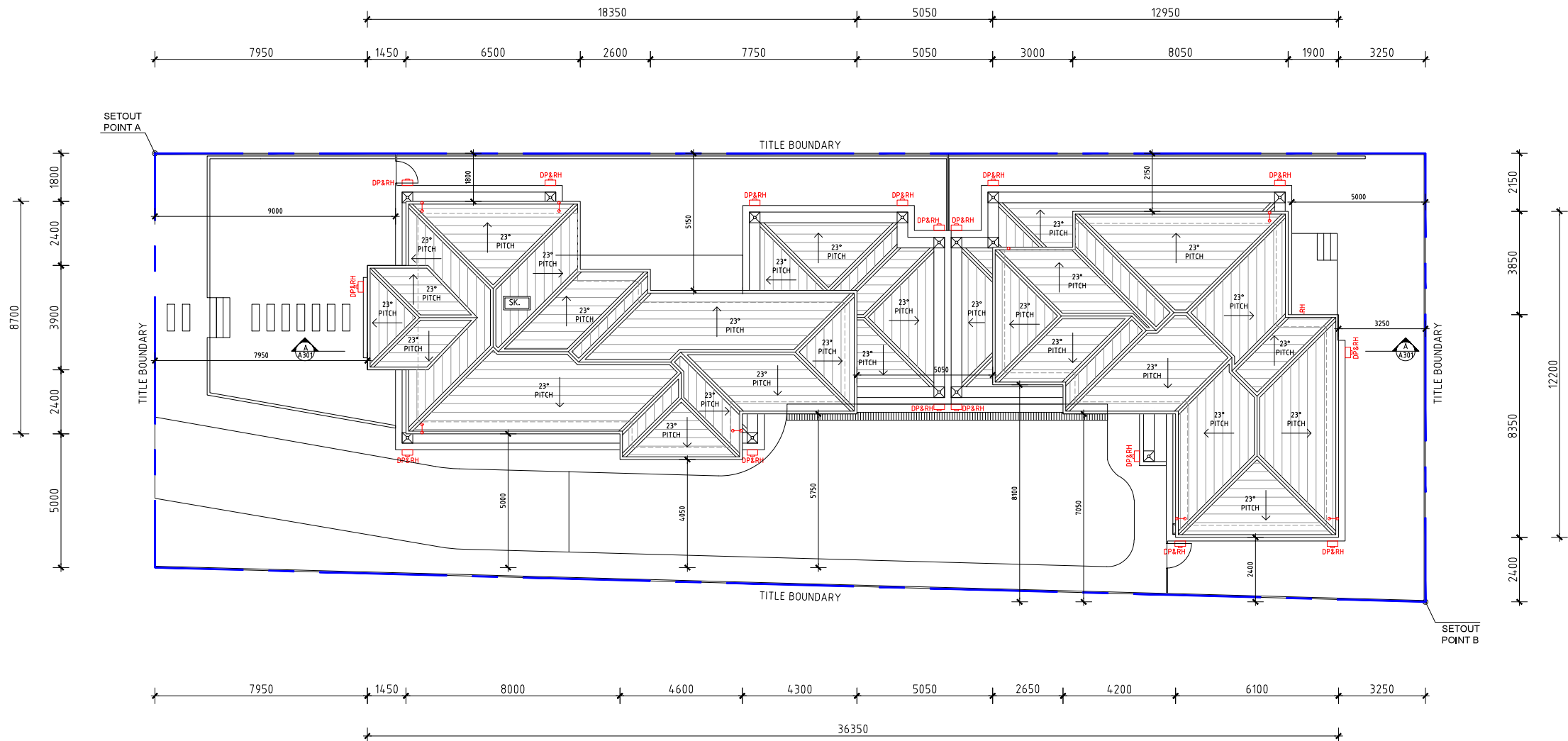
Project  
19 MITCHELL STREET, BLACKBURN NORTH

Drawing  
FIRST FLOOR PLAN

Date	Rev	Description



Project Number 21-024		Drawing Number A102	
Date 16-06-2022	Scale 1:100	Amendment -	
Drawn PY/MC	Checked AL/JW		



## ROOF PLAN

SCALE 1:100 @ A1

### LEGEND:

- A.J. Articulation Joint
- W Water Meter (TBC on site)
- G Gas Meter (TBC on site)
- S Sump with overflow provisions in accordance with AS3500
- FW Floor waste
- DPS Downpipe Spreader - to all DPs that fall over roof
- WT 3000L Watertank on concrete slab
- EB Electrical Box (Location TBC on site)
- SD Shower set down
- SH Storage shed on conc slab

### NOTES:

- Refer to A100 general notes and energy report for all energy requirements to walls, ceilings, windows and lights.
- All ESD methods refer to SDA reports.
- Floor wastes to be provided to the bathrooms and laundries in each unit.
- Articulation joints need to be 5m along the perimeter brickwork, 4.5m from all corners and not more than 1.2m away from openings.
- All box gutters must discharge straight into a rain water head with no 90 degree rain head otherwise re-design with an internal sump, and box gutter over flow prevention in accordance with AS3500.3.
- The sizes of downpipes minim 100mmx50mm or 90mm diameter
- All roof to be provided with roof sarking.
- All balconies are to comply and be waterproofed and drained in accordance with AS4654 Parts 1 and 2.
- All WC, sanitary compartments, ensuites or bathroom doors which swing inwards and are within 1200mm of a toilet pan required lift off door hinges and the top of door trimmed 10mm to allow it to be removable.
- All first floor and second floor habitable room situated less than 1700mm above the FFL must be restricted to open a maximum 125mm.
- All box gutter size has a minimum size of 300mm wide x 100mm deep.
- Smoke alarms are required to be installed in accordance with AS3786, hard wired with battery back up and interconnected together in each dwelling, i.e. if one smoke alarm turns on, on any level each other level smoke alarm turns on also.
- All stairs to have a non- slip resistant finish with a rating of P3 minimum.
- Glass splashbacks behind gas cooktops must be in accordance with the plumbing and gas standards (minimum 6mm toughened glass)
- All shower to have impervious wall lining up to 1800mm, i.e. tiles or vinyl.
- Wet area sinks to have impermeable splashback to minimum 150mm high, i.e. tiles or vinyl.
- Termite protection required to all buildings in accordance with AS3660.1.
- All masonry must be installed to AS4773 and AS3700.
- Solar hot water units must have 60% solar heat gain.
- Any penetrations in this fire rated construction must be protected, i.e. fire collars to any service pipes, wire penetrations sealed with a fire rated mastic sealant and no down light etc.
- Crushed rock and agi-pipe for the on boundary walls and retaining walls cannot be installed over the title allotment boundary.
- Agi pipe serving all retaining walls. Agi pipe to be connected to silt pit then disperse water to stormwater system.
- Ensure external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than 50mm over the first 1m from the building.
- All showers to have 50mm set down.
- Nominate pliable building membrane to comply with AS4200.1 and to be installed to AS4200.2 in accordance with clause 3.8.7.2 of the NCC 2019
- Nominate roof stormwater drainage to comply with AS3500.3.
- Nominate rainwater tanks to be connected to sanitary flushing.
- Nominate Grade A Safety Glazing to Bathroom windows.
- Nominate the sarking requirements as per Clause 3.5.2.4 of NCC 2019; additionally, nominate table
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NOT FOR CONSTRUCTION

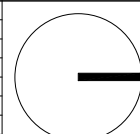
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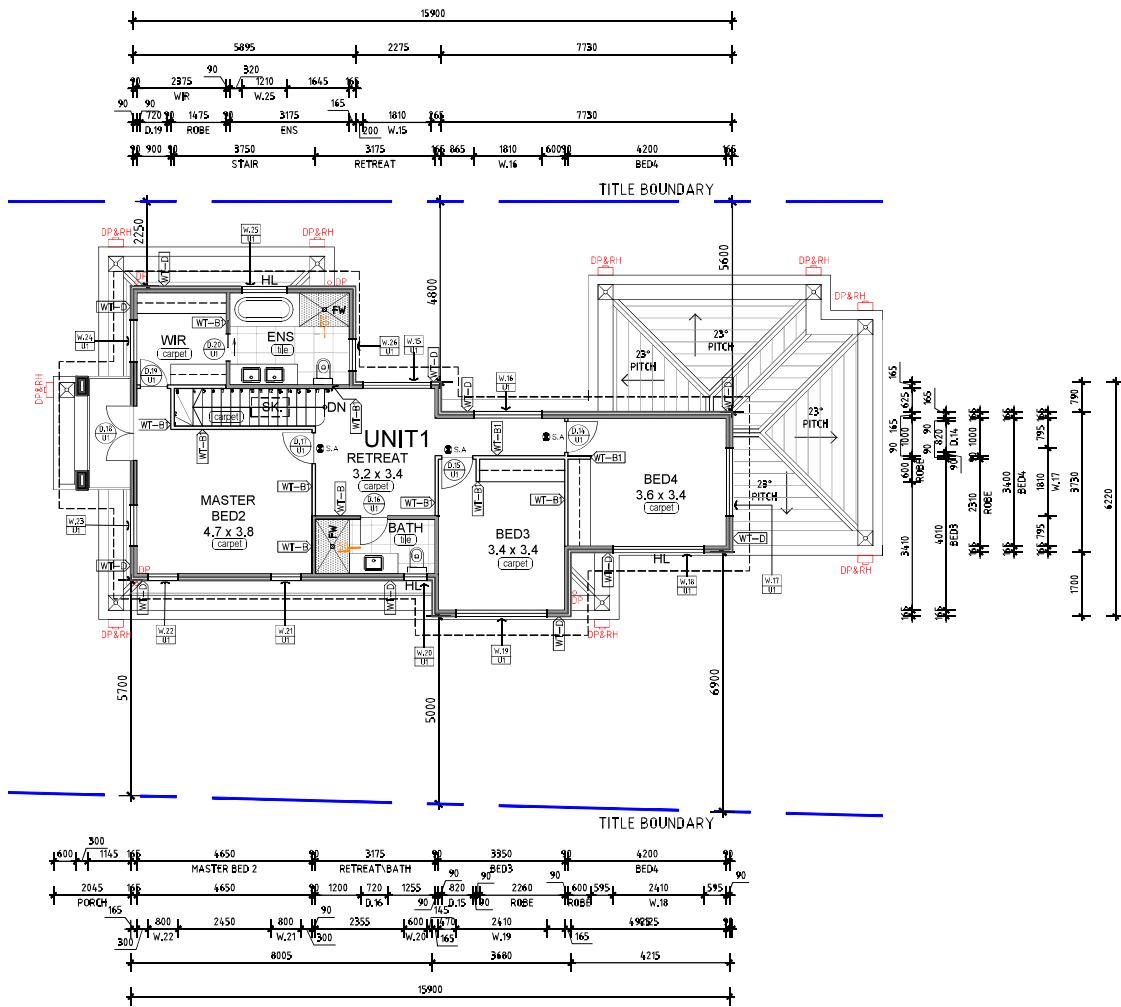
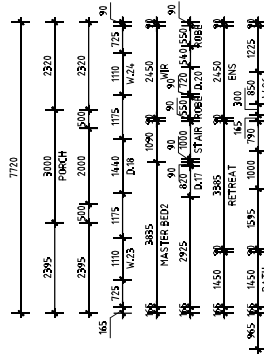
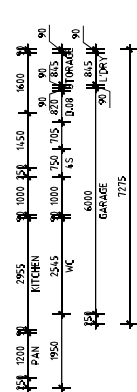
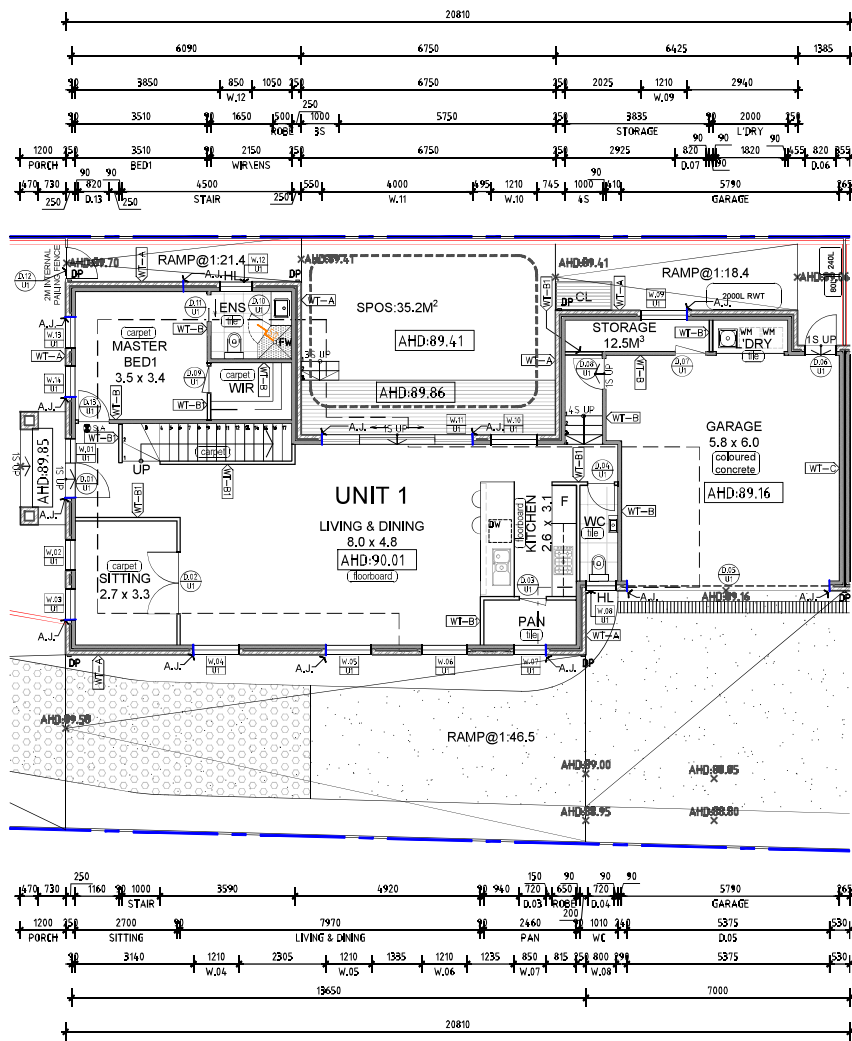
Project  
19 MITCHELL STREET, BLACKBURN NORTH

Drawing  
ROOF PLAN

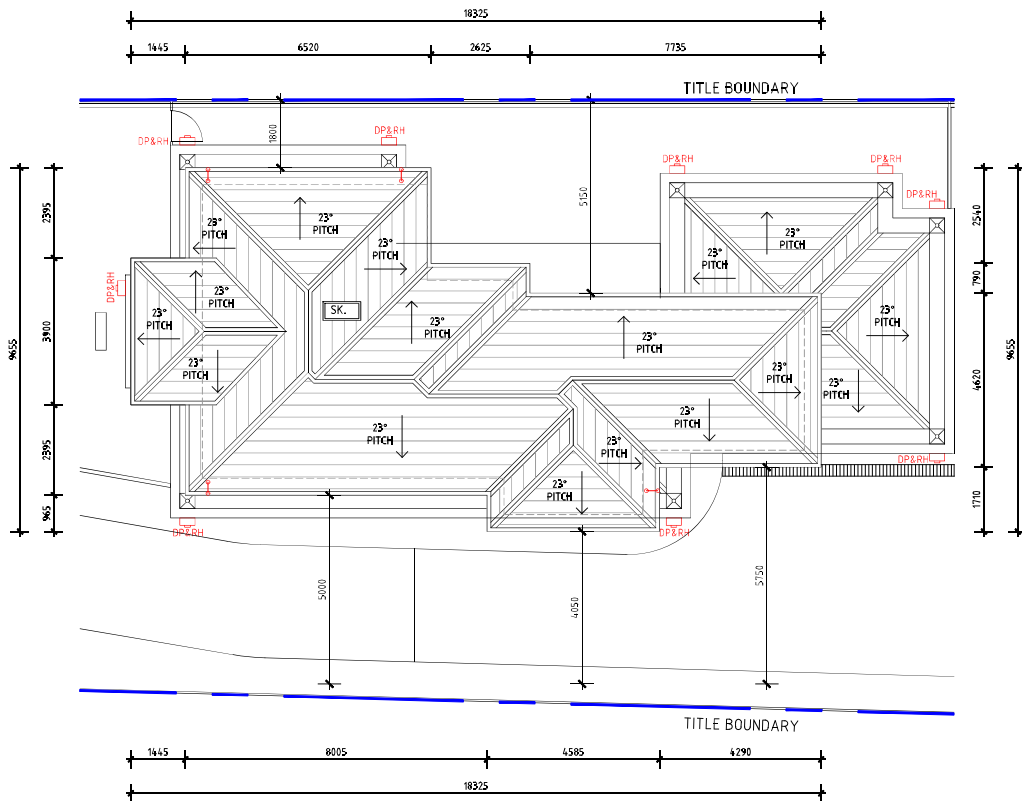
Date	Rev	Description



Project Number 21-024		Drawing Number A103	
Date 16-06-2022	Scale 1:100	Amendment -	
Drawn PY /MC	Checked AL /JW		



UNIT 1 FIRST  
SCALE 1:100 @ A1



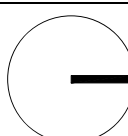
UNIT 1 ROOF  
SCALE 1:100 @ A1

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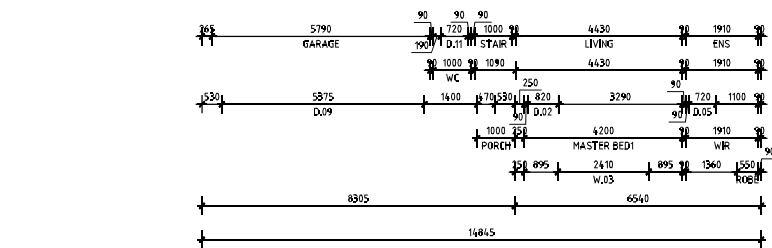
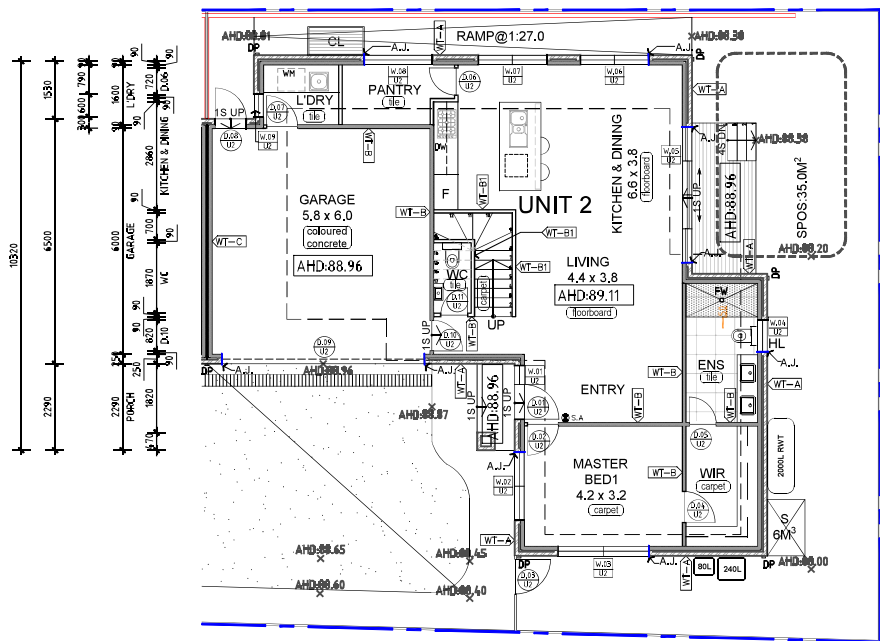
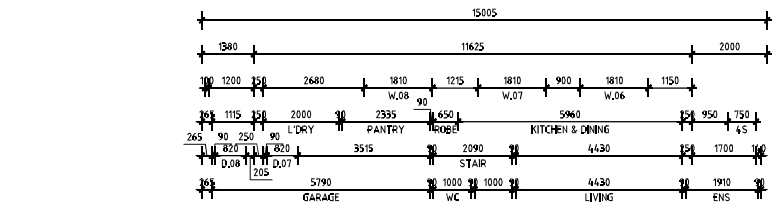
Project  
19 MITCHELL STREET, BLACKBURN NORTH  
Drawing  
UNIT 1 PLAN

Date	Rev	Description

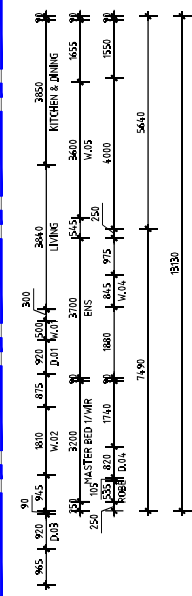


Project Number 21-024	Drawing Number A200
Date 16-06-2022	Scale 1:100
Drawn PY /MC	Checked AL /JW
	Amendment -

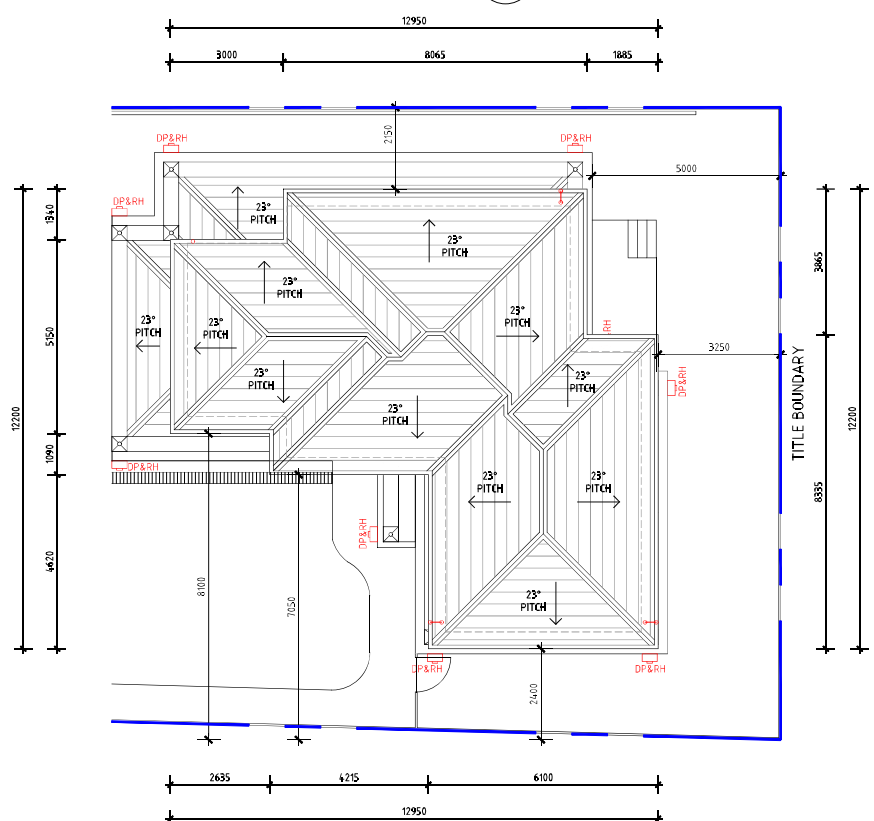




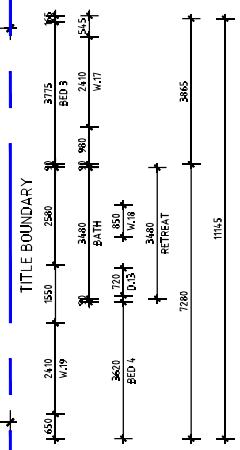
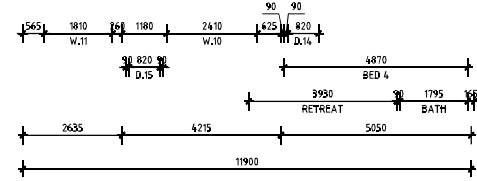
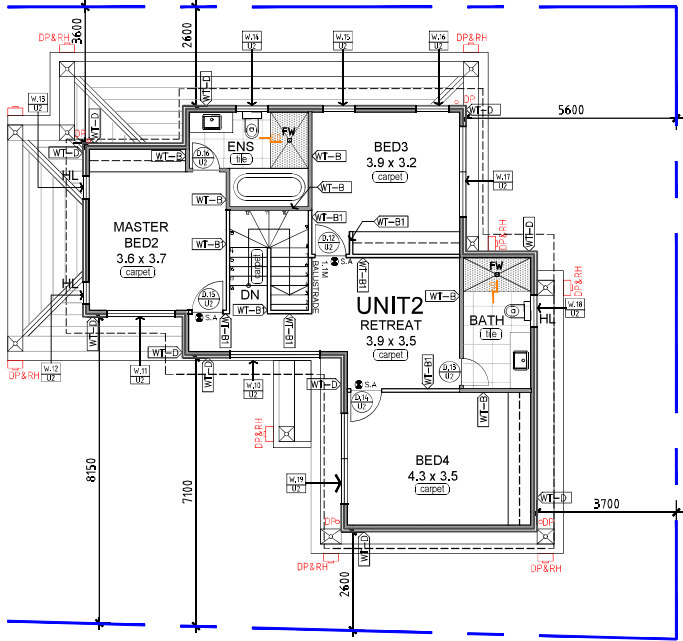
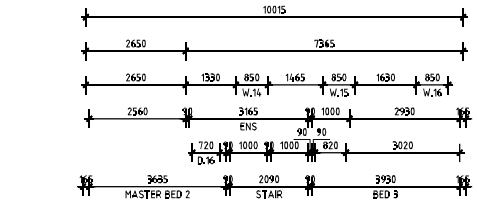
UNIT 2 GROUND  
SCALE 1:100 @ A1



UNIT 2 FIRST  
SCALE 1:100 @ A1

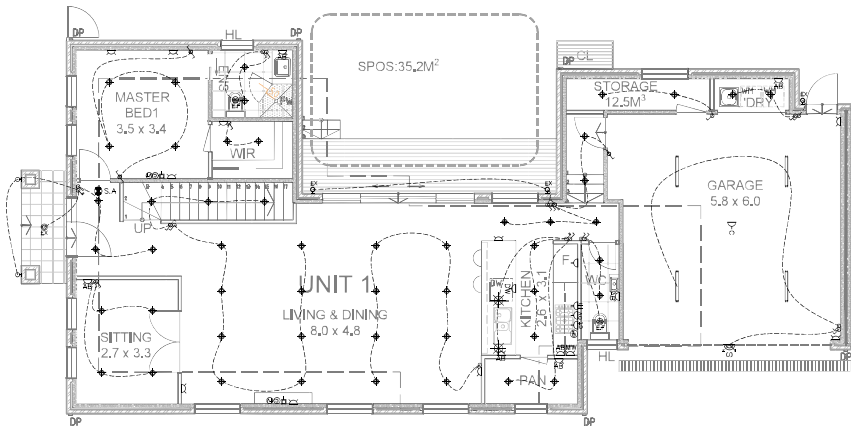


UNIT 2 ROOF  
SCALE 1:100 @ A1



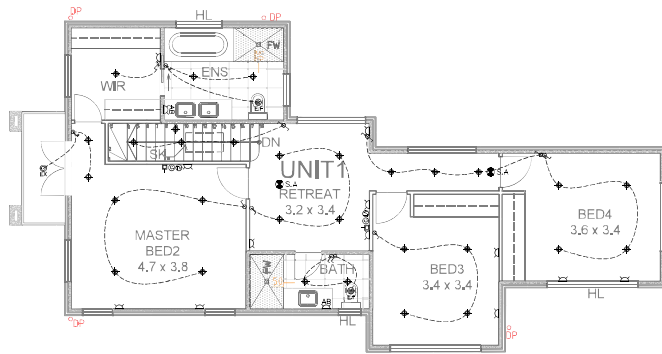
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	Drawing UNIT 2 PLAN					Date	16-06-2022	Scale	1:100
						Drawn	PY /MC	Checked	AL /JW
									Amendment



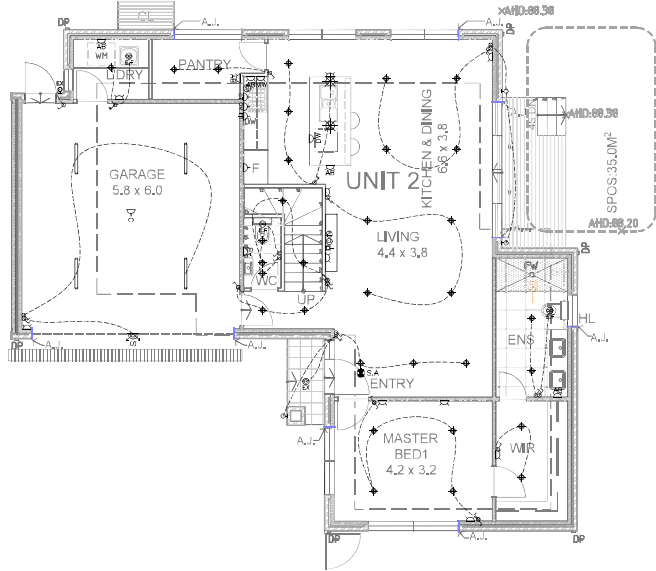
UNIT 1 GROUND FLOOR ELECTRICAL PLAN

SCALE 1:100 @ A1



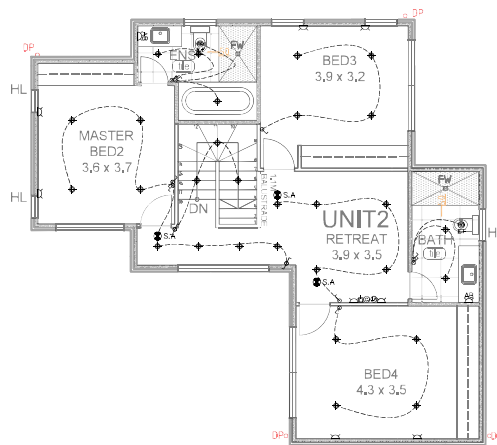
UNIT 1 FIRST FLOOR ELECTRICAL PLAN

SCALE 1:100 @ A1



UNIT 2 GROUND FLOOR ELECTRICAL PLAN

SCALE 1:100 @ A1



UNIT 2 FIRST FLOOR ELECTRICAL PLAN

SCALE 1:100 @ A1

ELECTRICAL PLAN LEGEND

EX=EXTERNAL S=SENSOR AS=ABOVE SHELF

SENSE LIGHT	SHEDS EPO 200mm ABOVE FFL UNLESS NOTED OTHERWISE
EXTERNAL LIGHT	DOUBLE EPO 300mm ABOVE FFL UNLESS NOTED OTHERWISE
EXHAUST FAN DUCTED TO OUTSIDE AIR	SHEDS DETECTOR (UNWIRING & INTERCONNECTED)
LOW VOLTAGE DIM DOWN LIGHT	DOUBLE EPO ABOVE SENSORS 1000mm ABOVE FFL
WALL LIGHT	POOR POWER POINT SHEDS EPO 500mm ABOVE FFL
BATHING BULB LIGHT	POOR POWER POINT SHEDS EPO 1000mm ABOVE FFL
FEATURE PENDANT LIGHT	POOR POWER POINT SHEDS EPO 500mm ABOVE FFL
SIMPLE FLOORSWITCH LIGHT	POOR POWER POINT SHEDS EPO 150mm ABOVE FFL
SINGLE SWITCH	POOR POWER POINT SHEDS EPO 150mm ABOVE FFL
DOUBLE SWITCH	POOR POWER POINT SHEDS EPO 150mm ABOVE FFL
TRIPLE SWITCH	POOR POWER POINT SHEDS EPO 150mm ABOVE FFL
TWO WAY SWITCH	POOR POWER POINT SHEDS EPO 150mm ABOVE FFL
TELECOMMUNICATIONS/CABLE/RIN	POOR POWER POINT SHEDS EPO 150mm ABOVE FFL
INTERCOM	POOR POWER POINT SHEDS EPO 150mm ABOVE FFL
PAY TV OUTLET	POOR POWER POINT SHEDS EPO 150mm ABOVE FFL
T.V. OUTLET	POOR POWER POINT SHEDS EPO 150mm ABOVE FFL
GAS POINT	POOR POWER POINT SHEDS EPO 150mm ABOVE FFL
WATER POINT	POOR POWER POINT SHEDS EPO 150mm ABOVE FFL
APPROX. 1000mm ABOVE FFL	POOR POWER POINT SHEDS EPO 150mm ABOVE FFL
JUNCTION BOX	POOR POWER POINT SHEDS EPO 150mm ABOVE FFL

- Notes:
- Allowed interior lighting power density 5W/m², allowed exterior lighting power density 4W/m², allowed garage lighting power density 3W/m²
  - All downlights to be LED down light
  - Sinking alarms/detectors to be hardwired & interconnected with battery back up in accordance with AS3786
  - All exhaust fans to be ducted to outside air
  - If unenclosed shower screens are installed the entire floor within the room is required to be waterproofed and graded to a floor waste with a water stop at the entrance door of bathroom/ensuite.

NOT FOR CONSTRUCTION

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Project

19 MITCHELL STREET, BLACKBURN NORTH

Drawing

UNIT 1 & UNIT 2 ELECTRICAL LAYOUT

Date

Rev

Description

Project Number

21-024

Date

16-06-2022

Scale

1:100

Drawn

PY /MC

Checked

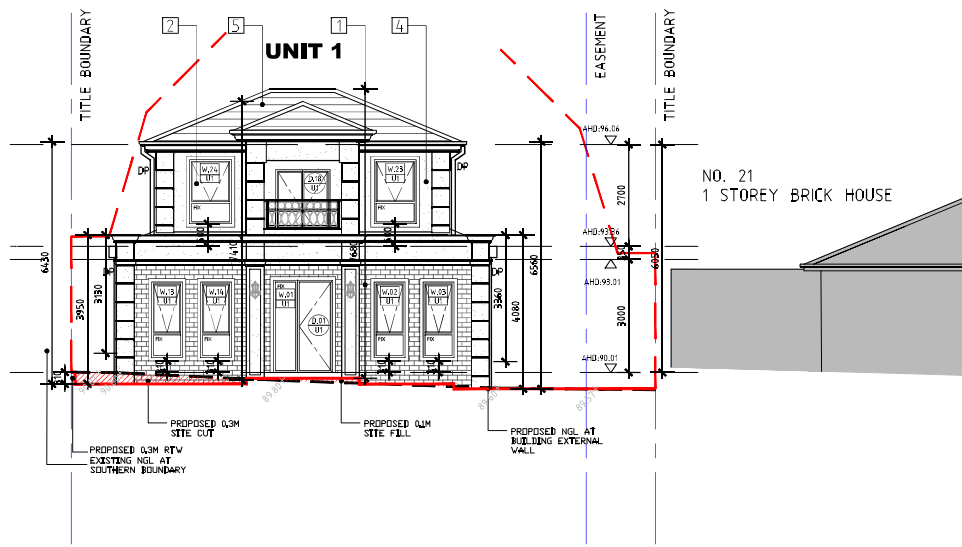
AL /JW

Drawing Number

A202

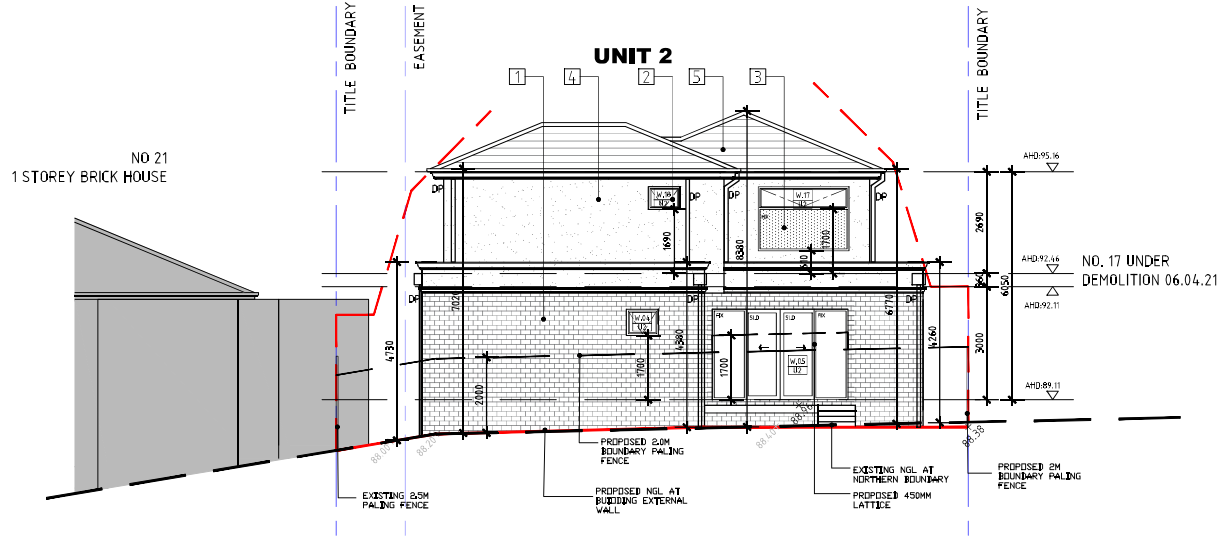
Amendment

-



SOUTH ELEVATION

SCALE 1:100 @ A1

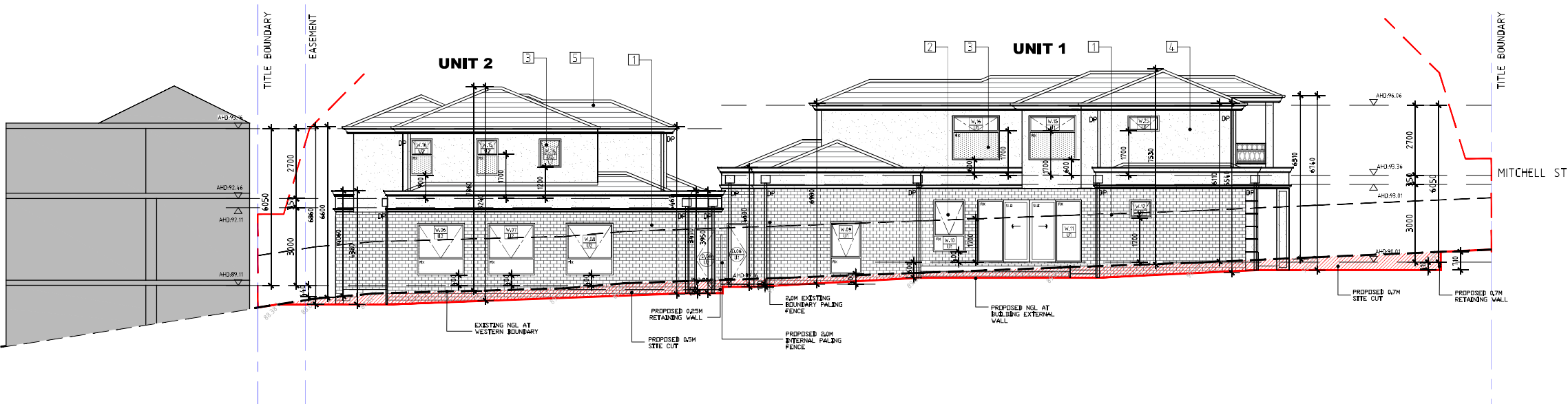


NORTH ELEVATION

SCALE 1:100 @ A1

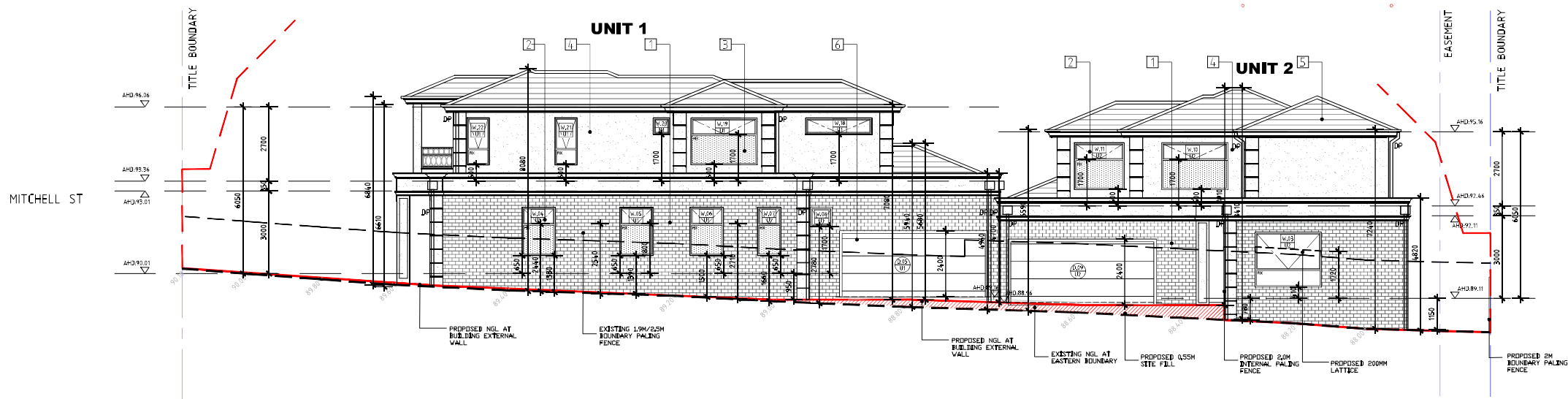
MATERIAL SCHEDULE:

- |  |                                     |
|--|-------------------------------------|
|  | 1 SELECTED FACE BRICK               |
|  | 2 CLEAR GLAZING                     |
|  | 3 OBSCURE GLAZING                   |
|  | 4 SELECTED RENDER COLOR GREY        |
|  | 5 SELECTED ROOF TILES               |
|  | 6 SELECTED RAISED PANEL GARAGE DOOR |



WEST ELEVATION

SCALE 1:100 @ A1



EAST ELEVATION

SCALE 1:100 @ A1

NOT FOR CONSTRUCTION

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Project  
19 MITCHELL STREET, BLACKBURN NORTH

Drawing  
ELEVATIONS

Date Rev Description

Project Number  
21-024

Date 16-06-2022  
Drawn PY/MC

Scale 1:100  
Checked AL/JW

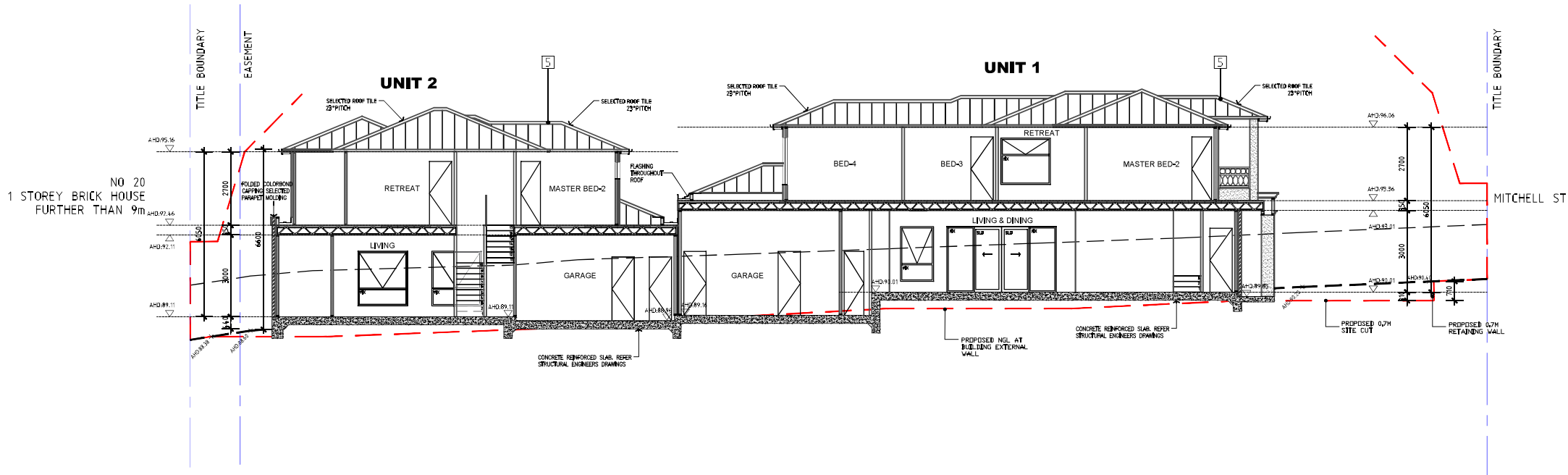
Drawing Number  
A300

Amendment  
-



MATERIAL SCHEDULE:

- 1 SELECTED FACE BRICK
- 2 CLEAR GLAZING
- 3 OBSCURE GLAZING
- 4 SELECTED RENDER COLOR GREY
- 5 SELECTED ROOF TILES
- 6 SELECTED RAISED PANEL GARAGE DOOR



SECTION AT A-A  
SCALE 1:100 @ A1

NOT FOR CONSTRUCTION

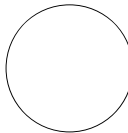
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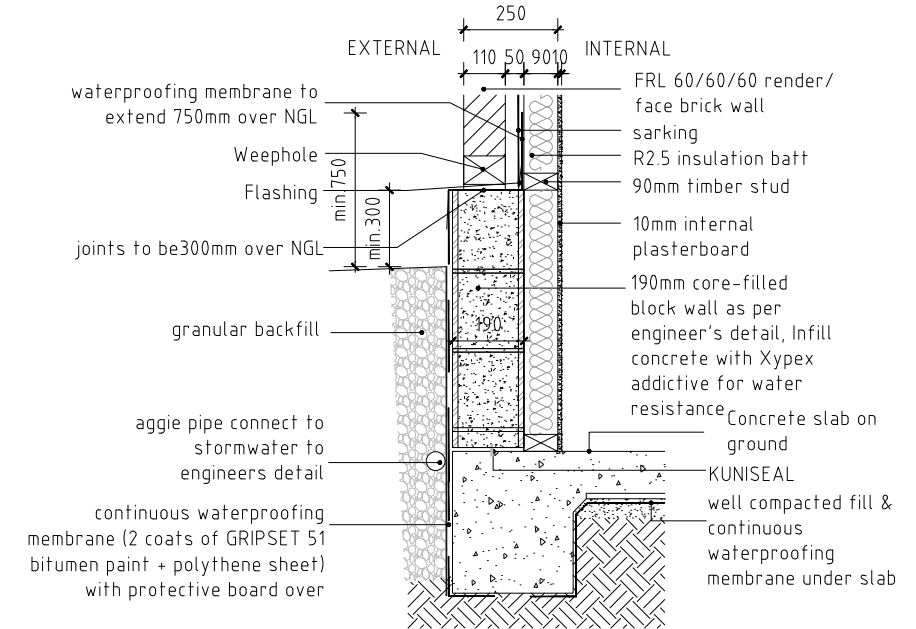
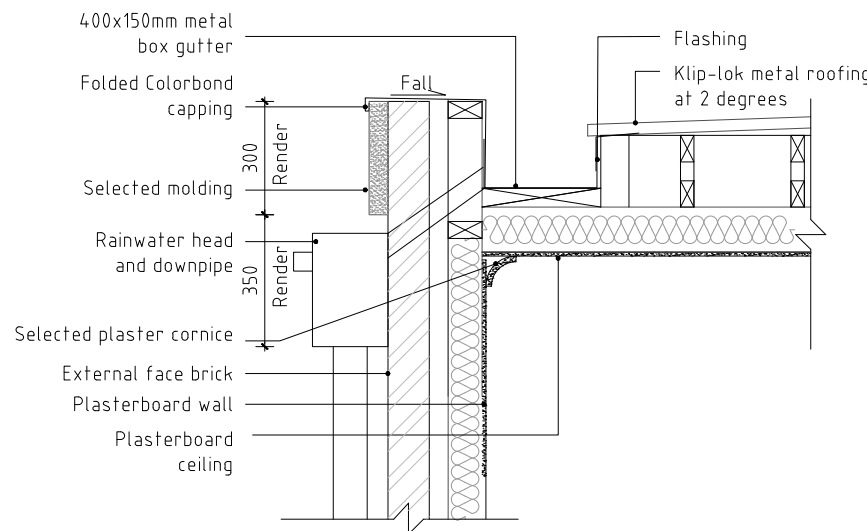
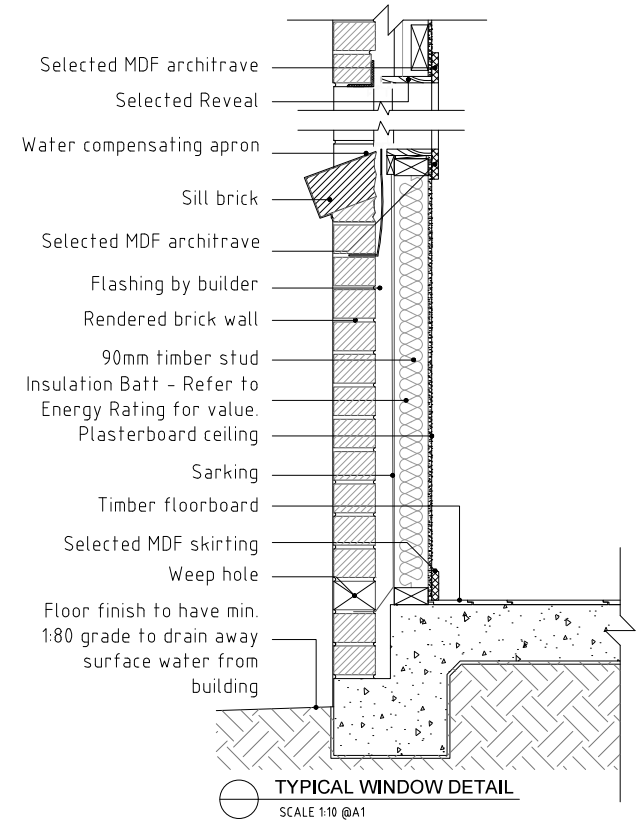
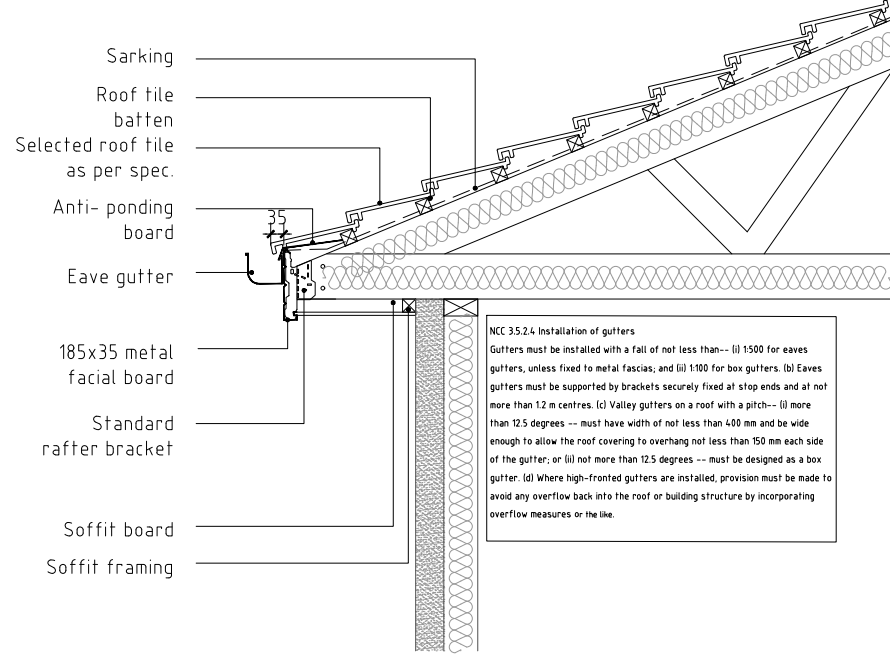
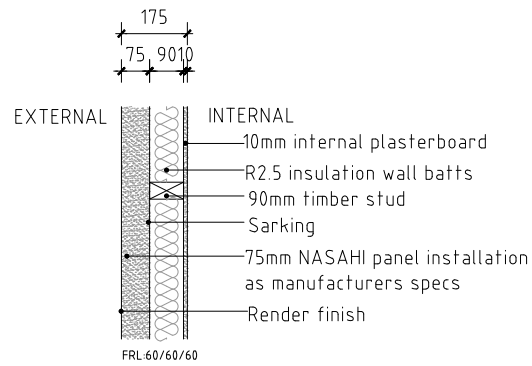
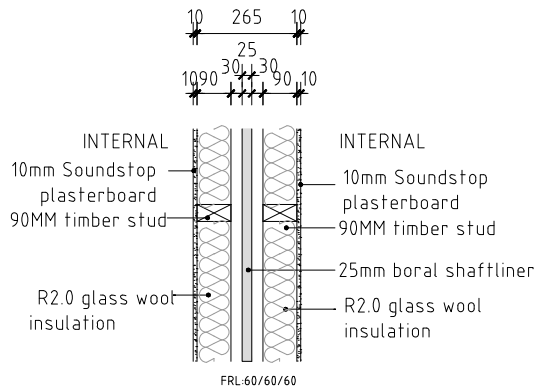
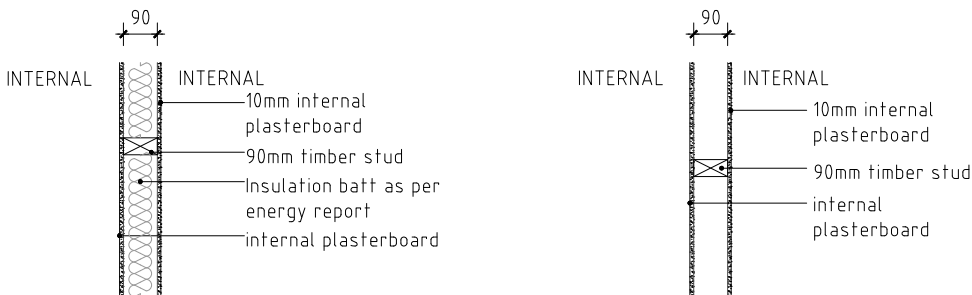
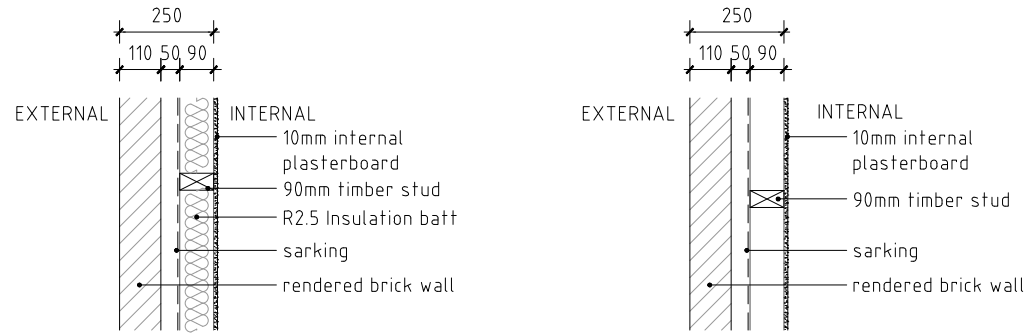
Project  
19 MITCHELL STREET, BLACKBURN NORTH

Drawing  
SECTION

Date	Rev	Description



Project Number 21-024		Drawing Number A301	
Date 16-06-2022	Scale 1:100	Amendment -	
Drawn PY /MC	Checked AL /JW		



## WALL TYPE & DETAILS

SCALE 1:10 @ A1

**NOT FOR CONSTRUCTION**

**Notes**

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- ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS, STRUCTURAL, MECHANICAL, ELECTRICAL, HYDRAULIC, LANDSCAPE ARCHITECTURAL DRAWINGS.
- LOCATION OF ALL HARDWARE, FIXTURES AND FITTINGS TO BE CONFIRMED WITH ARCHITECT PRIOR TO WORKS COMMENCING.

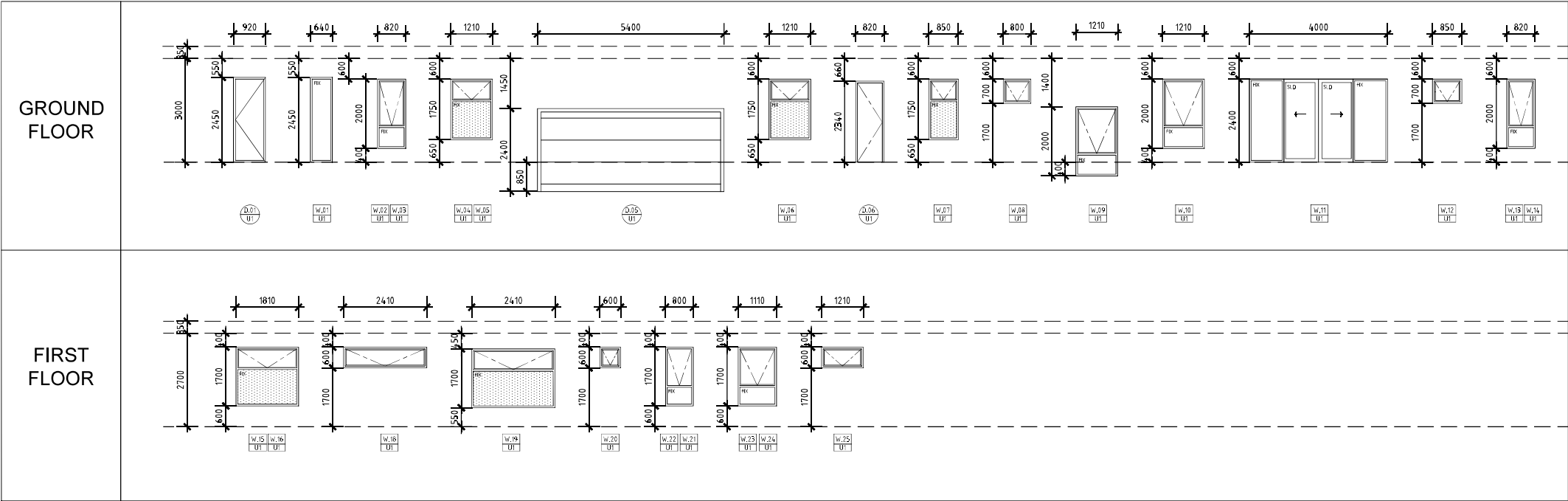
**Project**  
19 MITCHELL STREET, BLACKBURN NORTH

**Drawing**  
WALL TYPES & DETAILS

Date	Rev	Description

<b>Project Number</b> 21-024		<b>Drawing Number</b> A302	
<b>Date</b> 16-06-2022	<b>Scale</b> 1:10	<b>Amendment</b> -	
<b>Drawn</b> PY/MC	<b>Checked</b> AL/JW		

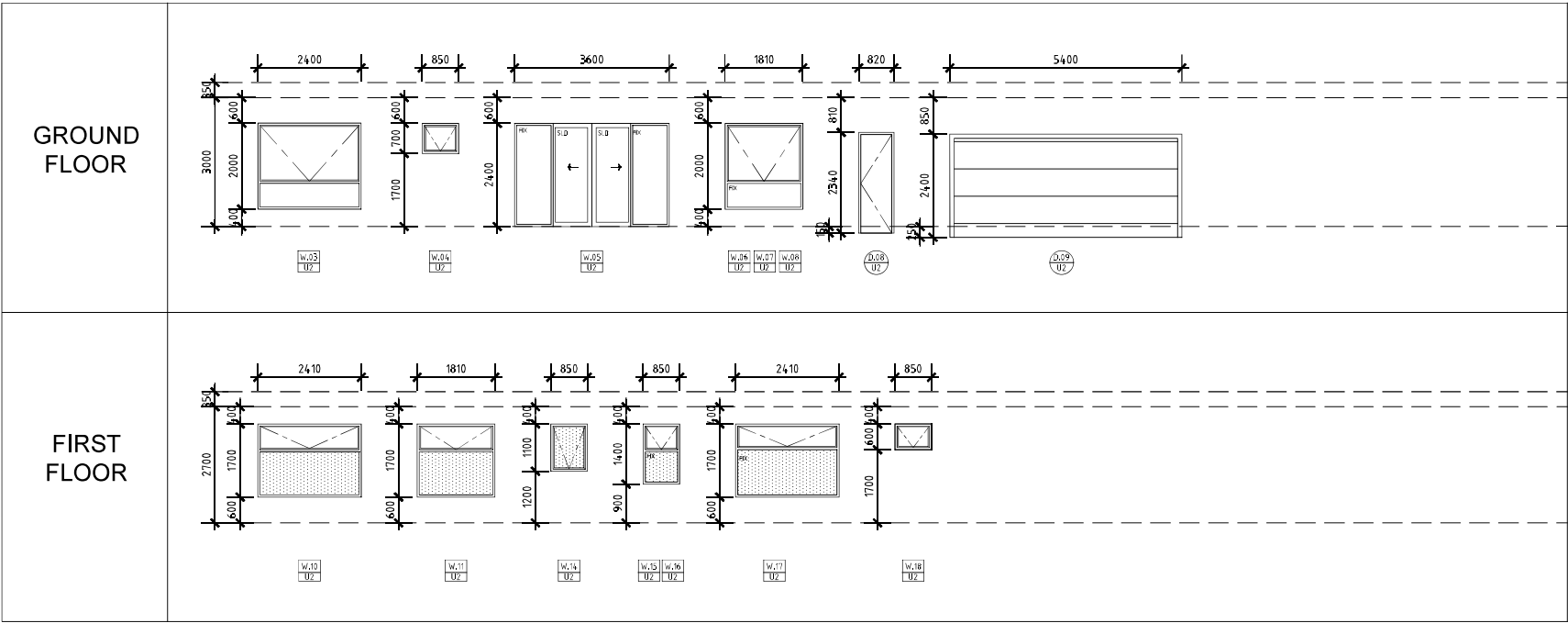
UNIT 1



Door Schedule:

UNIT 1			
Ground	Location:	Description:	Notes
D.01	ENTRY	2450 x 1560 with 920 solid core swing door and side glass panel	
D.02	SITTING	2340 x 1640 semi-solid core double swing door	
D.03	PANTRY	2340 x 720 semi-solid core swing door	
D.04	WC	2340 x 720 hollow core swing door	
D.05	GARAGE	2400 x 5400 motorized panel garage door	
D.06	GARAGE (REAR)	2340 x 820 solid core swing door	
D.07	STORAGE	2340 x 820 hollow core sliding door	
D.08	GARAGE (REAR)	2340 x 820 solid core swing door	
D.09	WIR	2400 x 720 semi-solid core swing door	
D.10	SHOWER	2340 x 600 glass swing door	
D.11	ENS	2340 x 720 hollow core sliding door	
D.12	SIDE GATE	2000 x 820 timber paling swing door	
D.13	BED MASTER 1	2340 x 820 hollow core swing door	
First			
D.14	BED 4	2340 x 820 hollow core swing door	
D.15	BED 3	2340 x 820 hollow core swing door	
D.16	BATH	2340 x 720 hollow core swing door	
D.17	BED MASTER 2	2340 x 820 hollow core swing door	
D.18	BALCONY	2040 x 1440 semi-solid core double swing door	
D.19	WIR	2340 x 720 semi-solid core swing door	
D.20	ENS	2340 x 720 hollow core sliding door	

UNIT 2



UNIT 2			
Ground	Location:	Description:	Notes
D.01	ENTRY	2400 x 1420 with 920 solid core swing door and side glass panel	
D.02	BED MASTER	2340 x 820 hollow core swing door	
D.03	SIDE GATE	2000 x 920 timber paling swing door	
D.04	BED MASTER WIR	2340 x 820 hollow core sliding door	
D.05	BED MASTER ENSUITE	2340 x 720 hollow core sliding door	
D.06	PANTRY	2340 x 720 hollow core sliding door	
D.07	LAUNDRY	2340 x 820 hollow core sliding door	
D.08	GARAGE (REAR)	2340 x 820 solid core swing door	
D.09	GARAGE	2400 x 5400 motorized panel garage door	
D.10	GARAGE (REAR)	2340 x 820 solid core swing door	
D.11	WC	2340 x 720 hollow core swing door	
First			
D.12	BED 3	2340 x 820 hollow core swing door	
D.13	BATH ROOM	2340 x 720 hollow core swing door	
D.14	BED 4	2340 x 820 hollow core swing door	
D.15	BED MASTER 2	2340 x 820 hollow core swing door	
D.16	BED MASTER 2 ENSUITE	2340 x 720 hollow core sliding door	

WINDOW LEGEND

- FIX. FIXED GLAZING
- DBG. OBSCURED GLAZING
- CLG. CLEAR GLAZING
- SLD. SLIDING DOOR
- BI BI-FOLD DOOR
- SL SKYLIGHT
- AWN AWNING WINDOW

- Note
- All dimensions are in mm.
  - All dimensions are measured to the door panel.
  - Any bathroom with a toilet within 1.2m of the door will require lift off hinges
  - Pedestrian doors to be steel framed
  - Entry doors, garage doors and doors under stairs to be measured on site to confirm height and width
  - Escape hinges to be installed to door of wc on ground floor UNIT 2

WINDOWS & DOOR SCHEDULE

NOT FOR CONSTRUCTION

Notes		Project		Date	Rev	Description			Project Number		Drawing Number	
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		Drawing							Date	16-06-2022	Scale	Amendment
		DOOR & WINDOW SCHEDULE							Drawn	PY /MC	Checked	AL /JW